

APPENDICIES

Hamilton Hill Revitalisation Strategy

Appendices 1-9

APPENDICIES

APPENDIX 1

APD58 – Residential Design Guidelines

Date First Adopted: 8 April 2010

Date Last Reviewed:

Division: Planning & Development**Status:**Administrative: Business Unit: Planning and Development Services Service Unit: Statutory Planning Services**Purpose:**

This policy articulates the City of Cockburn's specific expectations of landowners/applicants in meeting the relevant acceptable development provisions and the performance criteria listed in the *Residential Design Codes of Western Australia* (R-Codes) as they relate to:

- Grouped dwellings and;
- Single houses on lots less than 350m².

This purpose of the policy is to:

- Encourage sustainable dwelling design.
- Provide for safe vehicular access and efficient traffic movements.
- Set out the criteria for split-coded (R30/R40) lots.
- Enhance existing streetscapes by:
 - discouraging double garages from dominating the appearance of dwellings, creating inactive frontages and restricting passive surveillance of the street;
 - Encouraging and maximising passive surveillance opportunities between dwellings and their surroundings;
 - setting out the requirements for existing dwellings to be upgraded where they are retained as part of a grouped dwelling development;
 - setting out requirements for the installation and/or upgrading of appropriate landscaping.

Policy:

1. This policy applies to all grouped dwellings; and single house developments on lots less than 350sqm within the City of Cockburn. This policy does not apply to land which is subject to a Detailed Area Plan adopted under the City of Cockburn Town Planning Scheme No. 3.
2. This policy does not exempt compliance with all other requirements of the City of Cockburn Town Planning Scheme No. 3, the *Residential Design Codes of Western Australia* (R-Codes), other relevant City of Cockburn Policies and/or the Building Code of Australia/relevant Australian Standard(s).

3. Retained Dwellings

The following requirements apply to developments where landowners/applicants propose to retain existing dwellings as part of a subdivision or development of grouped dwellings on a site. In these cases, the existing dwelling must be of a standard capable of being upgraded as determined by the City of Cockburn, so that its appearance is not out of character with the new development. In this regard, upgrading may involve the following requirements where deemed applicable by the City of Cockburn:

- 3.1 Bagging or rendering external walls, replacing or professionally recoating non-masonry walls or professionally cleaning existing brickwork;
- 3.2 Replacing or professionally recoating faded or discoloured roof tiles or metal sheeting;
- 3.3 Replacing/repairing and painting gutters and downpipes;
- 3.4 Replacing/upgrading driveways which are un-drained and extensively cracked or in a state of disrepair;
- 3.5 Modifying, upgrading or replacing damaged or dilapidated windows and frames;
- 3.6 Where visible from the street or public domain - demolishing unauthorised or poorly maintained additions, flat roof carports/extensions, sleep outs and constructing quality replacement structures (if required) which match or complement the existing dwelling and new development;
- 3.7 Improvement of existing landscaping and replacing substandard or asbestos boundary fencing.

Where deemed appropriate the City will impose a planning condition requiring the upgrading of an existing dwelling to be retained, and will also recommend the inclusion of a subdivision condition to this effect.

4. Garages and Minimum Lot Frontages

- 4.1 A single-storey dwelling with a double width garage or carport will generally not be supported on a lot with a frontage of less than 10 metres (at the boundary).

5. Vehicle Access & Parking

The design of car parking spaces and siting of crossovers are important to

ensure safe and efficient traffic flows are maintained. In this regard, the following requirements apply:

- 5.1 No additional crossovers to lots abutting Regional Roads or major roads (refer to Appendix 1) will generally be permitted, unless it can be demonstrated that the existing crossover cannot be utilised for proposed development;
- 5.2 All new or modified crossovers should be at least 1 metre from an existing street tree. In cases where removal of an existing street tree is necessary, a replacement tree should be located and installed to the City's satisfaction;
- 5.3 Carports and garages must be designed to be consistent with the style, finish and roof pitch of an existing dwelling if it is to be retained.
- 5.4 Garages and carports proposed to be located in front of an existing dwelling must allow at least one major opening (window) of the dwelling facing the primary street to enable adequate surveillance of the street.

6. Corner Lots

To ensure development of corner lots contributes to the enhancement of existing streetscapes by improving passive surveillance, the following design guidelines apply for the development of corner lots:

- 6.1 One dwelling facing each street (where possible);
- 6.2 A proposed dwelling on the corner lot to be designed to address both primary and secondary streets;
- 6.3 Blank/solid fencing to the secondary street to be removed and replaced with open style fencing for no less than 50% of the boundary length;
- 6.4 Battleaxe subdivision designs on corner lots will generally not be supported (see diagram below);
- 6.5 Subdivision designs resulting in two long narrow lots with narrow frontages to the primary street will generally not be supported (see Figure 1).

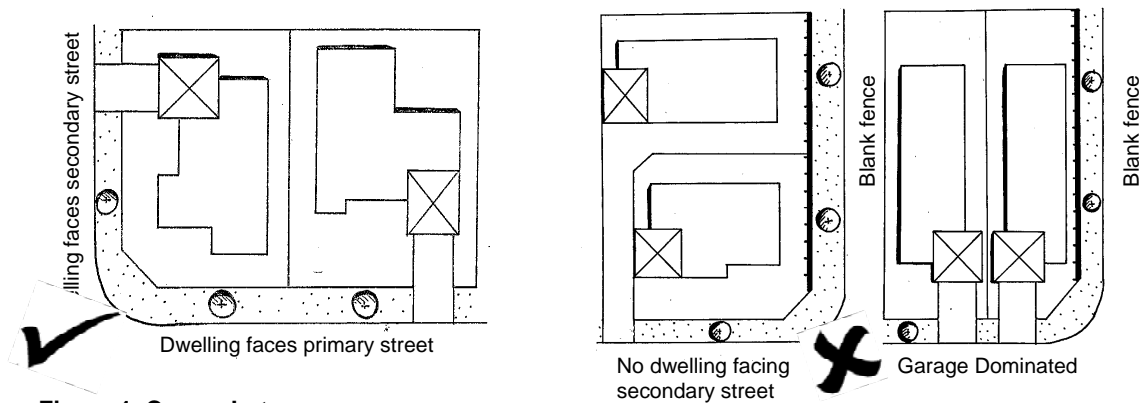


Figure 1. Corner Lots

7. Sustainable Building Design for New Dwellings

- 7.1 Internal living areas and outdoor living areas should be located on the northern side of the dwelling to capture the benefits of passive solar design;
- 7.2 Windows and openings should be located facing the direction of prevailing breezes with openings located opposite each other to maximise air flow through the dwelling creating cross-ventilation;
- 7.3 Windows on the east and west elevations should be minimised. For lots where the street frontage is on the east or west side, the use of verandahs, wide eaves and awnings should be used to shade windows;
- 7.4 Dark roof and wall colours will generally not be supported so that heat is reflected and the internal temperature of the dwelling is reduced. (Please refer to the City’s Preferred Building Colours and Materials Information Sheet.)

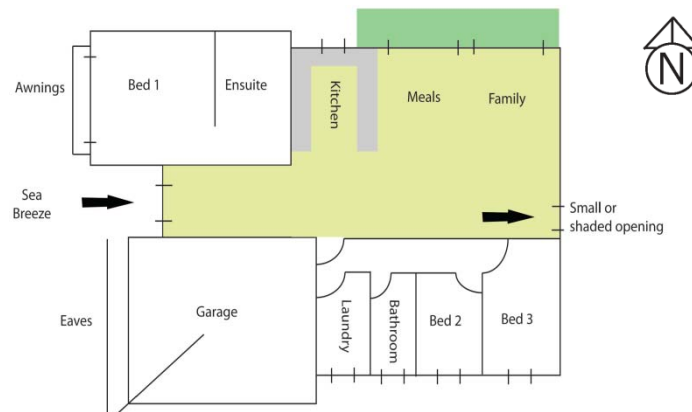


Figure 2. Sustainable House Layout

8. Outdoor Living Areas

- 8.1 To assist with passive surveillance and bring activity to the street, outdoor living areas are encouraged in the front setback for all new dwellings and retained dwellings where the front of the dwelling faces north;
- 8.2 For outdoor living areas proposed in the front setback, any roofing material must match the existing colour and material (where possible) of the respective dwelling;
- 8.3 Flat roof patios visible from the primary street will generally not be supported.

9. Landscaping

The installation and/or upgrading of appropriate landscaping can enhance the streetscape, contribute to the character of an area, provide privacy screening, shade and create a comfortable living environment. Therefore the following requirements for the provision of landscaping apply:

- 9.1 Preparation of a landscaping plan and installation of landscaping for all development involving three grouped dwellings or more;
- 9.2 Upgrading of retained dwelling may include the requirement to install and/or upgrade existing landscaping;
- 9.3 Deciduous trees (trees that lose their leaves in winter) are encouraged to be planted on the north side of the dwelling to enable solar access in winter and shade in summer;
- 9.4 Locally native species are encouraged around all other sides of the dwelling as they generally require less water and nutrients and provide habitat for native fauna.

10. Fencing

- 10.1 With the exception of lots abutting major roads (as identified on Appendix 1), all secondary street fencing should be permeable above 1.2 metres for no less than 50% of the boundary length. Consideration should also be given to the provision of a gate and clearly defined path leading to the front door.

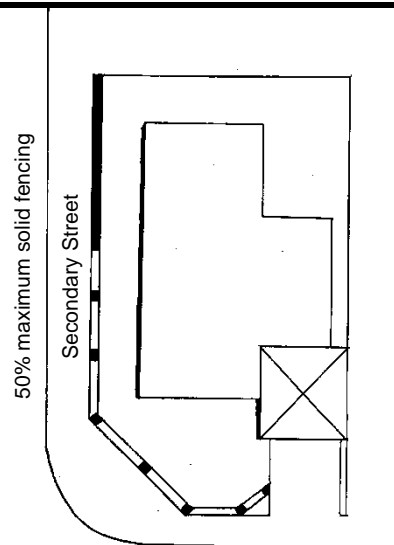
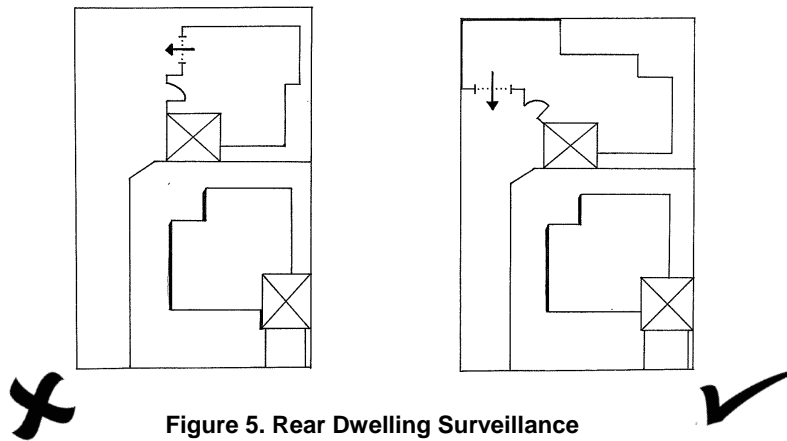
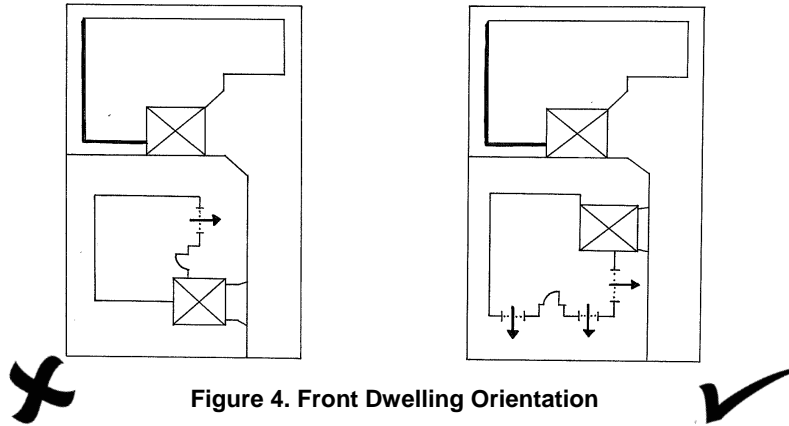


Figure 3. Fencing on corner lots

11. Split Coded R30/40 Lots

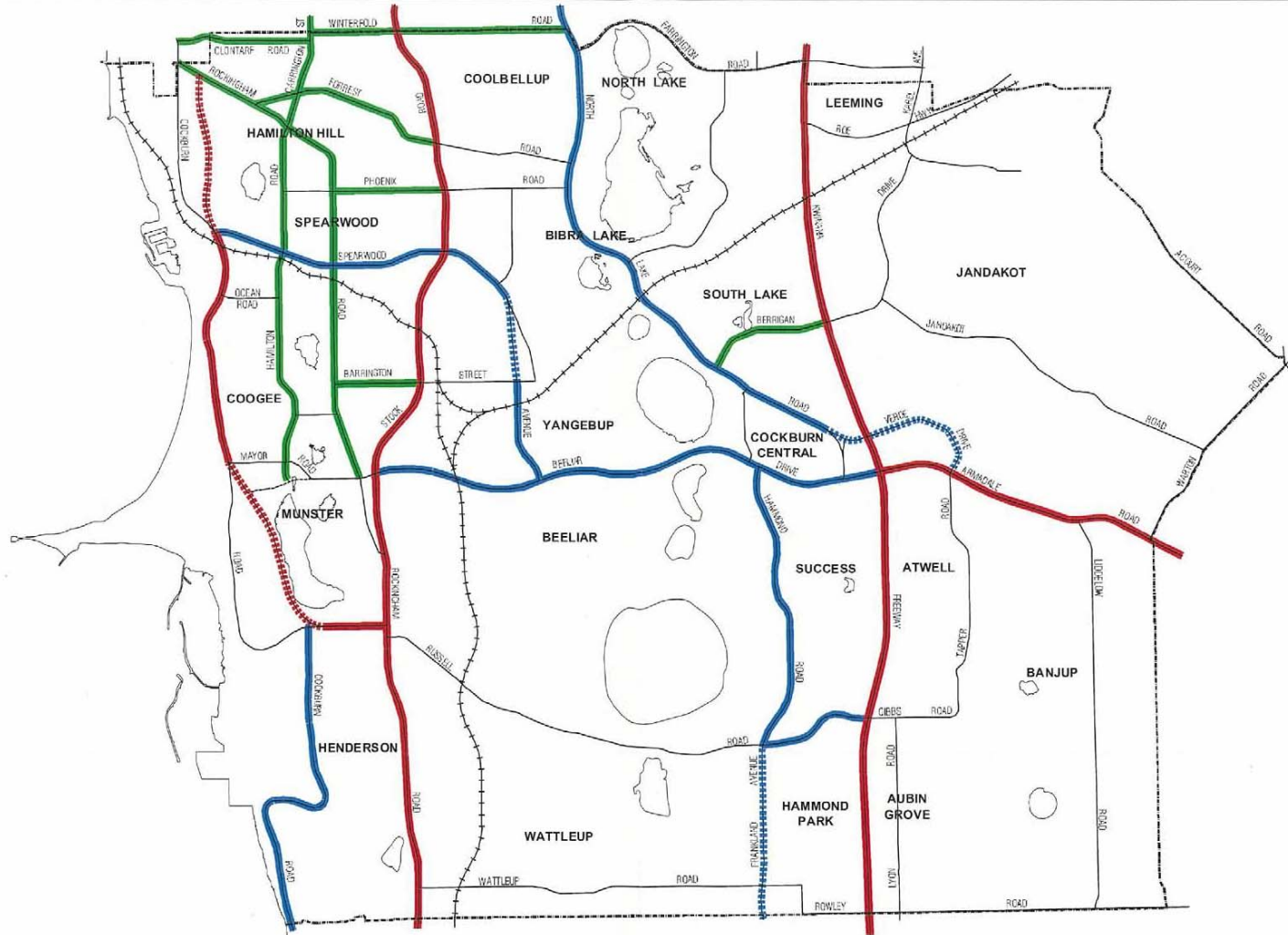
Split coded residential lots which are located opposite or adjacent to Public Open Space (POS) may be developed up to the stated maximum R40 density, where development is consistent with the requirements of this policy and the following criteria:

- 11.1 At least one of the dwellings is two storey or incorporates a habitable mezzanine/loft (excluding bedrooms) in order to create variety in design, height and rooflines and provide opportunity for surveillance of the POS;
- 11.2 Rear dwellings should be designed so that significant sections of the front elevations can be seen from the street (i.e. major openings to internal living areas)(see diagram below);
- 11.3 Provision of an outdoor living area within the front setback of an existing or proposed front dwelling which complies with the requirements of Section 8 of this Policy in order to promote surveillance of the POS;
- 11.4 Development on lots larger than 1500m² shall also demonstrate a suitable level of variety in design, height and rooflines in a manner that promotes surveillance of the POS.
- 11.5 New dwellings located on the front portion of a lot should have major windows fronting the street, and must not be orientated to solely face internal driveways (as demonstrated below).



Delegation:

Refer to the Delegated Register – APD54



- Primary Regional Road
- Other Regional Road
- Major Road

REGIONAL & MAJOR ROADS

APPENDIX 1

APPENDICIES

APPENDIX 2

Proposed POS Upgrades

HAMILTON HILL PUBLIC OPEN SPACE PROPOSED UPGRADES

| RESERVE | Timeframe |
|------------------------------------|-------------|
| Dixon Reserve | |
| Landscaping Design & Construction | Short term |
| BBO | Long term |
| Regional Playground | Short term |
| Playground shade structure | Short term |
| Carpark | Long term |
| Oval Floodlighting | Long term |
| Bench, seat & shade structure | Short term |
| Footpaths | Long term |
| Fencing (bollards) | Short term |
| Davilak oval | |
| Landscaping Design & Construction | Short term |
| Footpaths | Long term |
| Bench, seat & shade structure | Medium term |
| Clubhouse refurbishment | Medium term |
| Floodlighting Upgrade | Short term |
| Enright Reserve | |
| Landscaping Design & Construction | Short term |
| Bench, seat & shade structure | Medium term |
| BBO | Medium term |
| Footpaths | Medium term |
| Fencing (bollards) | Short term |
| Drinking Fountain | Medium term |
| Seating | Medium term |
| Park Sign | Medium term |
| Lighting | Medium term |
| Bakers Square | |
| Landscaping Design & Construction | Short term |
| Bench, seat & shade structure (x2) | Short term |
| Park Sign | Long term |
| Fencing (bollards) | Long term |
| Lighting | Long term |
| Court Resurfacing | Medium term |
| Wheeler Reserve | |
| Landscaping Design & Construction | Short term |
| Playground Edging | Short term |
| Footpaths | Medium term |
| Drinking Fountain | Medium term |
| Park Sign | Medium term |
| BBO | Long term |
| Lighting | Long term |

| RESERVE | Timeframe |
|------------------------------------|-------------|
| Hobbs Park | |
| Landscaping Design & Construction | Short term |
| Bench, seat & shade structure (x1) | Medium term |
| Footpaths | Medium term |
| Fencing (bollards) | Short term |
| Drinking Fountain | Long term |
| Seating | Long term |
| Park Sign | Short term |
| BBO | Medium term |
| Lighting | Long term |
| Hanlon Reserve | |
| Landscaping Design & Construction | Short term |
| Fencing (bollards) | Medium term |
| Park Sign | Medium term |
| Lighting | Short term |
| Dodd St Park | |
| Fencing (bollards) | Short term |
| Park Sign | Short term |
| Bench, seat & shade structure (x1) | Medium term |
| Jakob Reserve | |
| Landscaping Design & Construction | Short term |
| Fencing (bollards) | Short term |
| Park Sign | Medium term |
| Footpaths | Medium term |
| Bench, seat & shade structure (x1) | Long term |
| BBO | Long term |
| Fortini Reserve | |
| Landscaping Design & Construction | Short term |
| Bench, seat & shade structure | Medium term |
| Exercise Equipment | Long term |
| Footpaths | Medium term |
| BBO | Long term |
| Sawle Reserve | |
| Landscaping Design & Construction | Short term |
| Footpaths | Medium term |
| Fencing (bollards) | Medium term |
| Park Sign | Medium term |
| Bench, seat & shade structure | Medium term |

| RESERVE | Timeframe |
|-----------------------------------|-------------|
| Tolley Crt Reserve | |
| Landscaping Design & Construction | Short term |
| Playground equipment & Shade Sail | Short term |
| Bench, seat & shade structure | Medium term |
| Footpaths | Medium term |
| Fencing (bollards) | Short term |
| Park Sign | Short term |
| BBO | Long term |
| Redmond Reserve | |
| Landscaping Design & Construction | Short term |
| Footpaths | Medium term |
| Seating | Medium term |
| Fencing (bollards) | Medium term |
| Park Sign | Medium term |

APPENDICIES

APPENDIX 3

Residential Architecture of Hamilton Hill

INTERWAR HOUSING

Interwar Fibro



Interwar / Late 20th century



Interwar Weather Board



Interwar Brick & Tile



Interwar Fibro



Interwar Weather Board



Mediterranean

1950's Brick & Tile

Interwar Fibro



1930 - 60s HOUSING

1930's Brick & Tile



1950's Brick & Tile



1950's Brick & Tile



1950's Brick & Tile



1950's Brick & Tile



1950's Brick & Tile



1960's Walkup Flats



1950's Brick & Tile



1950's Brick & Tile



Skillion Roof Late 50/60's



1960's Brick & Tile



1960's Mediterranean



1960's Brick & Tile



Mediterranean



1970 – Present HOUSING

1970's Walkup Flats



1980's Tuscan



Federation Inspired



Mock Victorian / Federation Inspired



Tuscan / Internationalist Inspired



Tuscan Inspired



Internationalist Inspired



Mock Victorian



Internationalist Inspired



Federation / Idiosync



Idiosync



Idiosyncratic



APPENDICIES

APPENDIX 4

SAFE Assessment Criteria

Hamilton Hill SAFE Assessment

Details

| | | | |
|----------------|--|-----------|--|
| Site No: | | Time/Day: | |
| Street Number: | | Assessor: | |

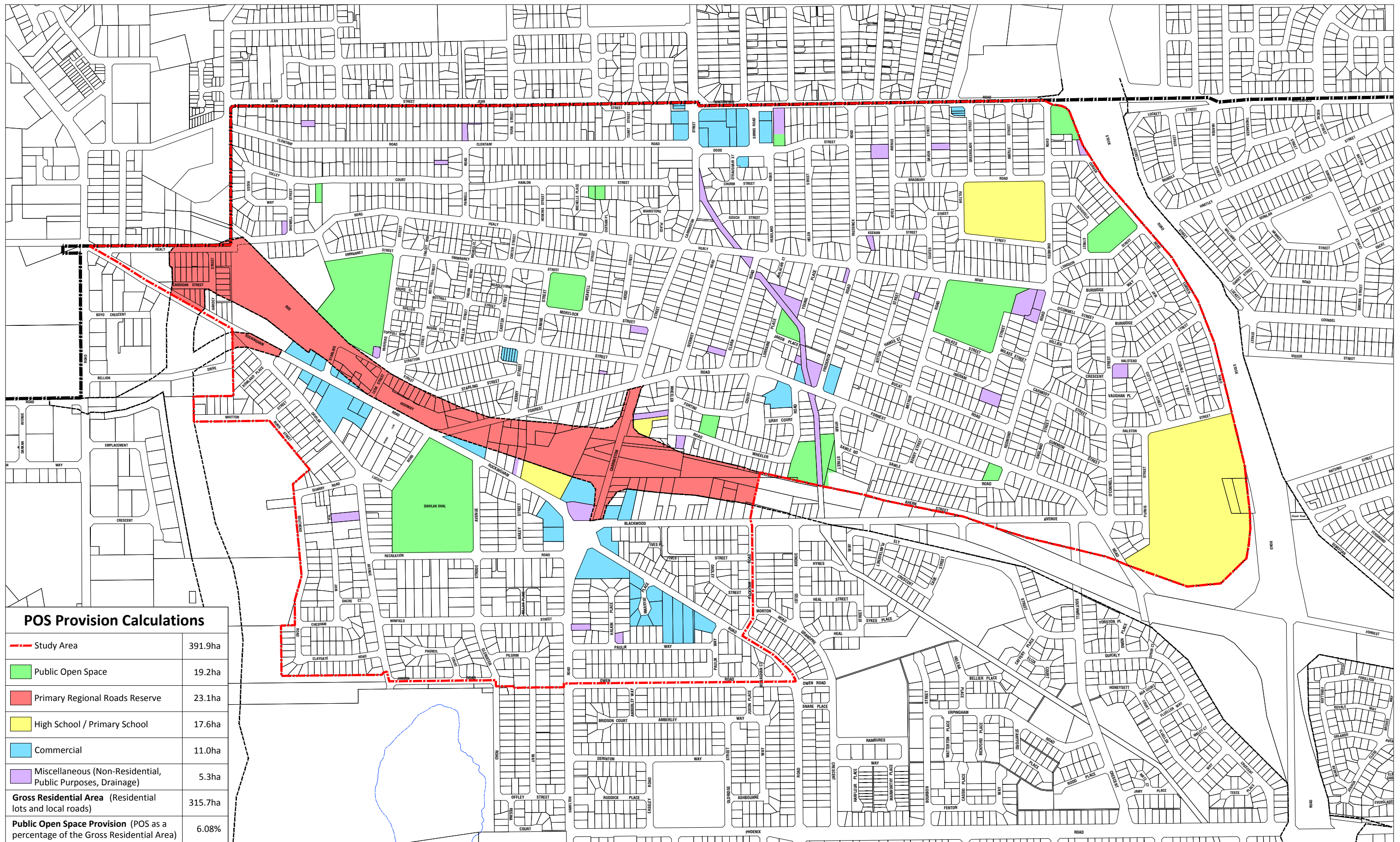
Rating: 1 = Poor, 2 = Average, 3 = Good

| Assessment Criteria | Score |
|---|------------|
| Safety | |
| 1. Level of passive surveillance from surrounding land uses | |
| 2. Level of passive surveillance from passing vehicle traffic (speed, volumes) | |
| 3. The number of people generate a feeling of personal security | |
| 4. Provision of street lighting | |
| 5. Passing traffic speed is safe for pedestrians | |
| Comments: | |
| <i>Subtotal</i> | /15 |
| Attractiveness | |
| 6. Building frontage address the street | |
| 7. Building facades are visibly permeable (i.e. glass windows) | |
| 8. Architecture/design/building quality/visible landmarks | |
| 9. Paths are shaded by trees | |
| 10. Cleanliness of streetscape (eg litter/graffiti), air pollution (eg diesel fumes, factory emissions) and noise pollution (eg construction, factories, traffic) | |
| Comments: | |
| <i>Subtotal</i> | /15 |
| Friendliness | |
| 11. The footpaths doesn't deviate to areas without surveillance | |
| 12. Active outdoor areas (eg alfresco dining)/ opportunities for people watching | |
| 13. Active land uses are reasonably continuous along the street | |
| Comments: | |
| <i>Subtotal</i> | /9 |
| Efficient | |
| 14. Condition of pedestrian paths and crossings (eg. potholes, cracks, flooding, debris, obstacles, ramps) | |
| 15. Design of paths and crossings (eg islands for crossing wide roads, the continuity/connectivity of paths) | |
| 16. Is signage provided for pedestrian routes/crossings/key destinations. Are they clearly visible to motorists and pedestrians by markings and signs | |
| Comments: | |
| <i>Subtotal</i> | /9 |
| Total | /48 |

APPENDICIES

APPENDIX 5

POS Provision Calculations



0 200m
SCALE 1:10,000

POS PROVISION CALCULATIONS HAMILTON HILL REVITALISATION STUDY

City of
Cockburn



APPENDICIES

APPENDIX 6

POS Survey

POS Analysis

1. Dixon Reserve

| Dixon Reserve (1) | |
|--|--|
| Adjoining Streets | Hurford St, Starling St and Ommanney St |
| Size | 4.280 HA |
| Type (District, Neighbourhood or Local) | District |
| Use (Active, Passive) | Active |
| Infrastructure in Park (Playground, shelter, water fountain, seating, bbqs, courts, goals, paths, lighting) | Community Facility, Basketball Court, Football Goals, Playground Equipment, Drink fountain/tap, 3 Park Benches and 2 Fixed Bins. |
| Amenity (shade trees, attractive plantings, well mowed, tidy) | Northern section well maintained, good facilities, fenced off drainage to the south, interface to the shops to the south is poor |
| Surveillance (from homes, roads and shops) | Good surveillance in northern half, Average towards the southern section. |
| General quality | Average |

Photo Record of Dixon Reserve





2. Davilak oval

| Davilak oval (2) | |
|--|---|
| Adjoining Streets | Strode Ave, Recreation Rd, Lucius Rd and Rockingham Rd. |
| Size | 6.412 HA |
| Type (District, Neighbourhood or Local) | District |
| Use (Active, Passive) | Active |
| Infrastructure in Park (Playground, shelter, water fountain, seating, bbqs, courts, goals, paths, lighting) | Memorial, 2 Fixed Bins, 2 Football Goals, 3 sets of Playground Equipment, 2 Gazebo/Arbors, 4 Floodlights, 2 Shelters, BBQ, 2 Club Rooms, Scoreboard, 2 Cricket Pitches, 2 tennis Courts, Toilets, 2 parking signs, Bore, Park bench and Not on the legend, 3 yellow square curvy symbols. |
| Amenity (shade trees, attractive plantings, well mowed, tidy) | Nice shade trees around perimeter of oval. Facilities appear to be in good condition. Well maintained |
| Surveillance (from homes, roads and shops) | Good surveillance from three sides, solid fence on the forth side adjacent to residential |
| General quality | Good |

Photo Record of Davilak oval





3. Enright Reserve

| Enright Reserve (3) | |
|--|--|
| Adjoining Streets | Ingram St, Wilkes St, Arthur Rd and Healy Rd |
| Size | 3.366 HA |
| Type (District, Neighbourhood or Local) | District |
| Use (Active, Passive) | Active |
| Infrastructure in Park (Playground, shelter, water fountain, seating, bbqs, courts, goals, paths, lighting) | 3 Fixed Bins, 2 Flood Lights, 2 Baseball Fences, Cricket Practice Net, Club Room, Cricket Pitch, Play Equipment, Bore and Park Bench |
| Amenity (shade trees, attractive plantings, well mowed, tidy) | Very well maintained, nice shade trees, huge oval, Good play equipment. |
| Surveillance (from homes, roads and shops) | Good surveillance |
| General quality | Good |

Photo Record of Enright Reserve:





4. Baker Square

| Baker Square (4) | |
|--|---|
| Adjoining Streets | Weavell St, Mortlock St, Dianne St and Ommanney St |
| Size | 1.014 HA |
| Type (District, Neighbourhood or Local) | Neighbourhood |
| Use (Active, Passive) | Active |
| Infrastructure in Park (Playground, shelter, water fountain, seating, bbqs, courts, goals, paths, lighting) | 3 Flood Lights, 4 Netball Courts, 2 Soccer Goals, Shelter, Club Rooms, Drink Fountain/Tap, Playground Equipment, Bore, BBQ, Fixed Bin, Light and 6 Park Benches |
| Amenity (shade trees, attractive plantings, well mowed, tidy) | Good shade trees, well maintained, good balance of active and passive POS, good facilities |
| Surveillance (from homes, roads and shops) | Good survey |
| General quality | Good |

Photo Record of Baker Square





5. Wheeler Reserve

| Wheeler Reserve (5) | |
|--|---|
| Adjoining Streets | Wheeler Rd |
| Size | 0.820 HA |
| Type (District, Neighbourhood or Local) | Neighbourhood |
| Use (Active, Passive) | Passive |
| Infrastructure in Park (Playground, shelter, water fountain, seating, bbqs, courts, goals, paths, lighting) | Basketball Ring/Court, 2 Park Benches, Playground Equipment and Bore |
| Amenity (shade trees, attractive plantings, well mowed, tidy) | Mostly unmaintained vegetation, large drainage swale/detention basin, Good level of shading |
| Surveillance (from homes, roads and shops) | Little surveillance, areas of solid fencing |
| General quality | Low (though one corner is Average-Good) |

Photo Record of Wheeler Reserve





6. Hobbs Park

| Hobbs Park (6) | |
|--|--|
| Adjoining Streets | Curven Rd, Longson St and Schofield St |
| Size | 1.095 HA |
| Type (District, Neighbourhood or Local) | Neighbourhood |
| Use (Active, Passive) | Passive |
| Infrastructure in Park (Playground, shelter, water fountain, seating, bbqs, courts, goals, paths, lighting) | Bore, 3 Park Benches, Play Equipment, Drink Fountain/Tap and Basketball Court/Ring |
| Amenity (shade trees, attractive plantings, well mowed, tidy) | Attractive, Nice shade trees, well maintained, good play equipment, footpath running through site creating good pedestrian connectivity. |
| Surveillance (from homes, roads and shops) | Good surveillance on three sides with the fourth side having solid fencing |
| General quality | Good |

Photo Record of Hobbs Park





7. Hanlon

| Hanlon (7) | |
|---|---|
| Please note: Rose, the neighbour saw me taking photos and suggested that the council put a skate ramp in the park for the local teenage kids; she suggested the soak well as an ideal location to put a little skate ramp. I said that she should suggest it to the council in writing. I think that it's a good idea esp cos this council is looking to start doing some planning for the youth of Cockburn 😊 | |
| Adjoining Streets | Hanlon St |
| Size | 0.180 HA |
| Type (District, Neighbourhood or Local) | Local |
| Use (Active, Passive) | Passive |
| Infrastructure in Park (Playground, shelter, water fountain, seating, bbqs, courts, goals, paths, lighting) | Play Equipment and Park Bench |
| Amenity (shade trees, attractive plantings, well mowed, tidy) | Nice shade trees, nice facilities, well maintained. Detention basin incorporated into site |
| Surveillance (from homes, roads and shops) | Adequate surveillance for size of park (even though it's from only one side, the opposite side of the road. |
| General quality | Good |

Photo Record of Hanlon





8. Unnamed (Dodd St)

| Unnamed (8) | |
|--|---|
| Adjoining Streets | Dodd St |
| Size | 0.100 Ha |
| Type (District, Neighbourhood or Local) | Local |
| Use (Active, Passive) | Passive |
| Infrastructure in Park (Playground, shelter, water fountain, seating, bbqs, courts, goals, paths, lighting) | 2 Park Benches |
| Amenity (shade trees, attractive plantings, well mowed, tidy) | Nice well maintained. Doesn't relate to adjacent centre. Damaged fence allows overlooking o poorly maintained drain (full of rubbish) |
| Surveillance (from homes, roads and shops) | Small amounts of surveillance |
| General quality | Average-Good |

Photo Record of Dodd St





9. Jakob Reserve

| Jakob Reserve (9) | |
|--|---|
| Adjoining Streets | Jakob Pl and Lorraine Pl |
| Size | 0.636 HA |
| Type (District, Neighbourhood or Local) | Local |
| Use (Active, Passive) | Passive |
| Infrastructure in Park (Playground, shelter, water fountain, seating, bbqs, courts, goals, paths, lighting) | Fixed Bin, Park Bench, Play Equipment and Bore |
| Amenity (shade trees, attractive plantings, well mowed, tidy) | Nice shade trees, nice play equipment, nice terraced slope, well maintained |
| Surveillance (from homes, roads and shops) | Good surveillance |
| General Quality | Good |

Photo Record of Jakob Reserve





10. Fortini

| Fortini (10) | |
|--|--|
| Adjoining Streets | Wheeler Rd and Fortini Ct |
| Size | 0.284 |
| Type (District, Neighbourhood or Local) | Local |
| Use (Active, Passive) | Passive |
| Infrastructure in Park (Playground, shelter, water fountain, seating, bbqs, courts, goals, paths, lighting) | Park Bench |
| Amenity (shade trees, attractive plantings, well mowed, tidy) | Nice, well maintained. Shade trees on one side of the park although newly planted trees on the other side of the park should provide shade in the future. One of those big power poles in one corner |
| Surveillance (from homes, roads and shops) | Surveillance from opposite sides with solid fencing on the other sides. One of the sides has good surveillance the other not so good due to one of the blocks being vacant. |
| General quality | Good |

Photo Record of Fortini





11. Sawle Reserve

| Sawle Reserve (11) | |
|--|--|
| Adjoining Streets | Forrest Rd and Sawle Rd |
| Size | 0.199 HA |
| Type (District, Neighbourhood or Local) | Local |
| Use (Active, Passive) | Passive |
| Infrastructure in Park (Playground, shelter, water fountain, seating, bbqs, courts, goals, paths, lighting) | Park Bench, Bore and Parking Sign |
| Amenity (shade trees, attractive plantings, well mowed, tidy) | Large proportion of site taken up by detention basin, few shade trees, a few new deciduous/olive/fig trees being planted on elevated corner of site. Well maintained. Not very useable space. |
| Surveillance (from homes, roads and shops) | Good surveillance from three sides (two sides being residential on Sawle Rd and Forrest Rd on the third) forth side which is adjacent to residential has no surveillance due to non permeable fence. |
| General quality | Average-Low |

Photo Record of Swale Reserve





12. Unnamed

| Unnamed (12) | |
|--|--|
| Adjoining Streets | Tolley Ct |
| Size | 0.101 HA |
| Type (District, Neighbourhood or Local) | NA |
| Use (Active, Passive) | Undeveloped |
| Infrastructure in Park (Playground, shelter, water fountain, seating, bbqs, courts, goals, paths, lighting) | Nil |
| Amenity (shade trees, attractive plantings, well mowed, tidy) | Unmaintained, not functional. Basically an overgrown vacant block. It looks like it is used as an access way for the adjacent (unkempt) property. |
| Surveillance (from homes, roads and shops) | Average surveillance from the opposite site of the road only. Two of the other sides are solid boundary fences, the other side is bordering a big dilapidated, overgrown property. |
| General quality | Poor |

Photo Record of Tolley Ct



13. Redmond Reserve

| Redmond Reserve (13) | |
|--|--|
| Adjoining Streets | Stock Rd, Redmond Rd and Winterfold Rd |
| Size | 0.577 HA |
| Type (District, Neighbourhood or Local) | NA |
| Use (Active, Passive) | Undeveloped |
| Infrastructure in Park (Playground, shelter, water fountain, seating, bbqs, courts, goals, paths, lighting) | Nil |
| Amenity (shade trees, attractive plantings, well mowed, tidy) | Undeveloped unmaintained bush. Does not contribute to recreational needs of the area |
| Surveillance (from homes, roads and shops) | Poor on three sides with non permeable fencing and major roads. Other side with residential is still poor due to the visually impermeable nature of the bush land. |
| General quality | Good |

Photo Record of Redmond Reserve





| Good Child Park (#) I added this one but it might not be in the area. | |
|--|--|
| Adjoining Streets | Ely St and Cade St |
| Size | 4.538 HA |
| Type (District, Neighbourhood or Local) | District |
| Use (Active, Passive) | Active |
| Infrastructure in Park (Playground, shelter, water fountain, seating, bbqs, courts, goals, paths, lighting) | Bore, 5 Floodlights, BBQ, Club Rooms, Cricket Practice Net, Fixed Bin, 6 Park Benches, Cricket Pitch, Soccer Goal, Play Equipment, Light and Not on the legend, 2 yellow square curvy symbols and a Black Star |
| Amenity (shade trees, attractive plantings, well mowed, tidy) | |
| Surveillance (from homes, roads and shops) | |

APPENDICIES

APPENDIX 7

Hamilton Hill Residents and Property Owners

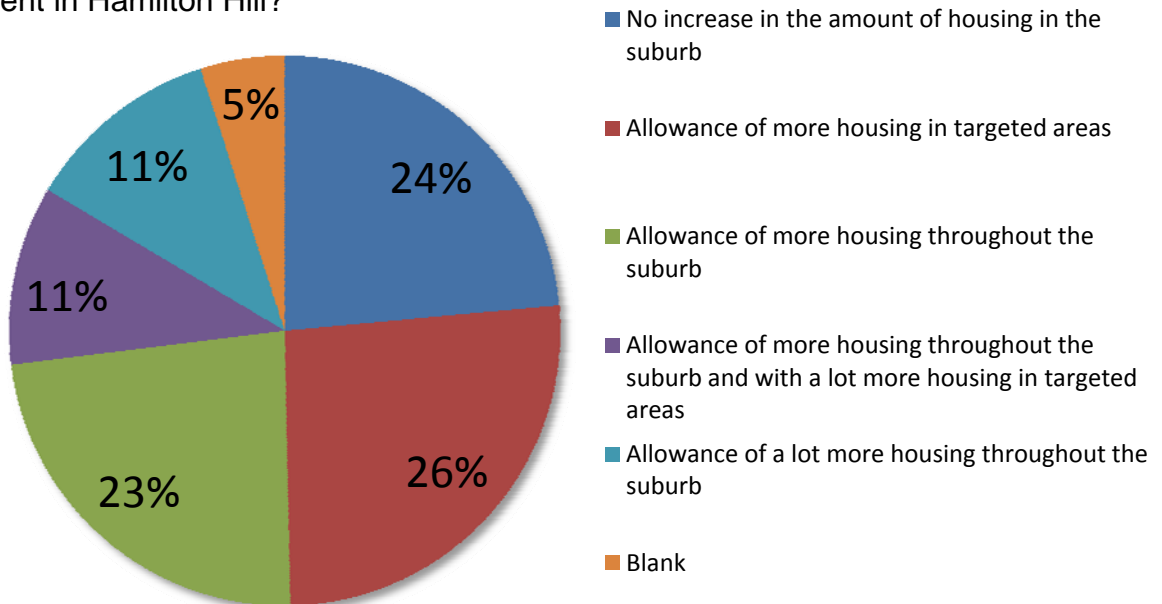
Survey Outcomes

Hamilton Hill Revitalisation Strategy

Hamilton Hill Residents Survey Results

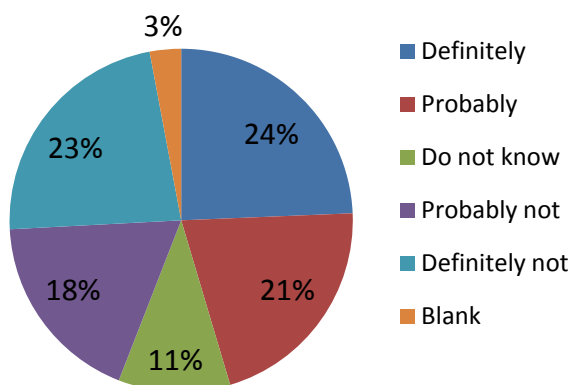
Part One – Future Development in Hamilton Hill

Which of the statements below best describes your vision for future development in Hamilton Hill?

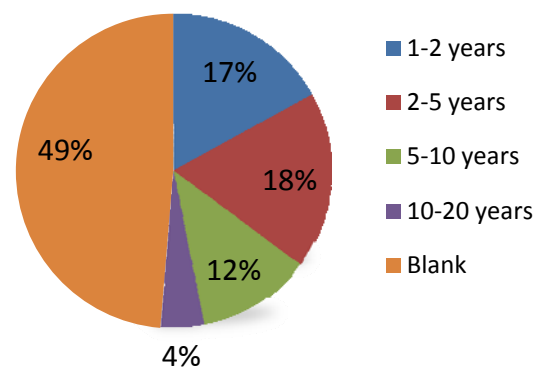


Part Two – Your Development Aspirations

If your property was rezoned would you consider subdividing and redeveloping your property or selling to a developer?



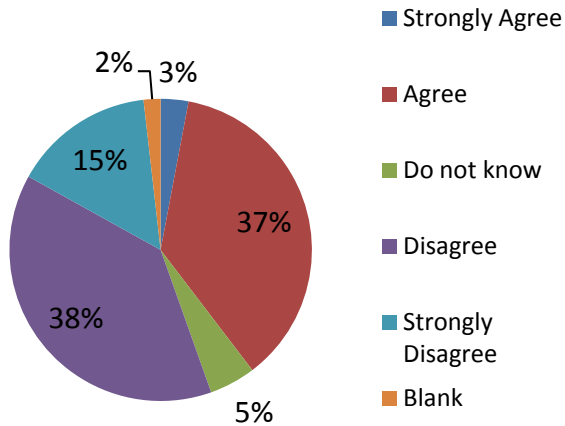
Upon rezoning when would you intend to subdivide or redevelop your property?



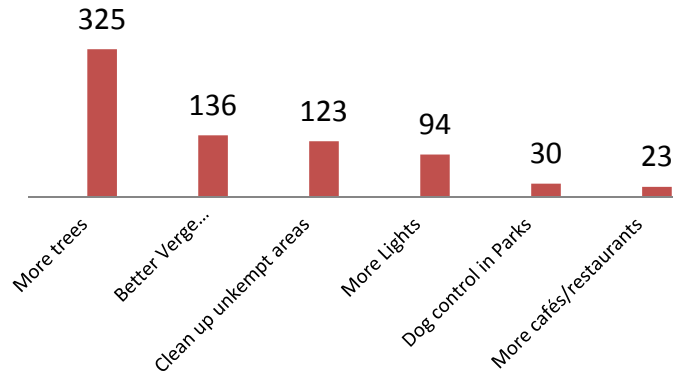
Part 3 - Community Satisfaction

Street Environment

In general the streets in Hamilton Hill are attractive

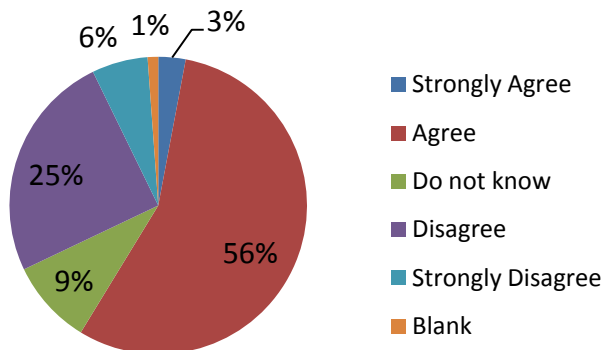


If you could change anything about the street environment in Hamilton Hill, what would it be?



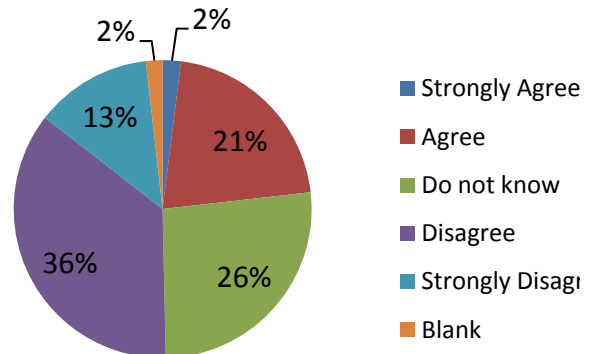
Pedestrian Paths

In general, Hamilton Hill is well connected with a system of safe, well maintained pedestrian paths



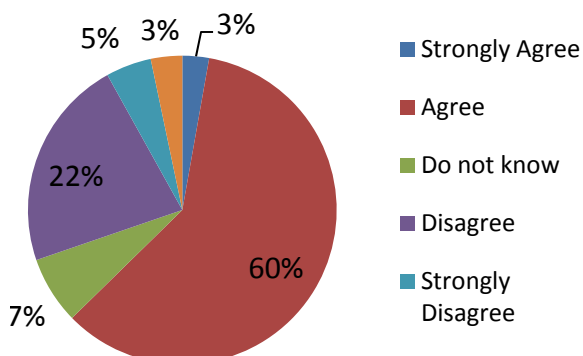
Cycle Paths

In general, Hamilton Hill is well connected with a system of safe, well maintained cycle paths

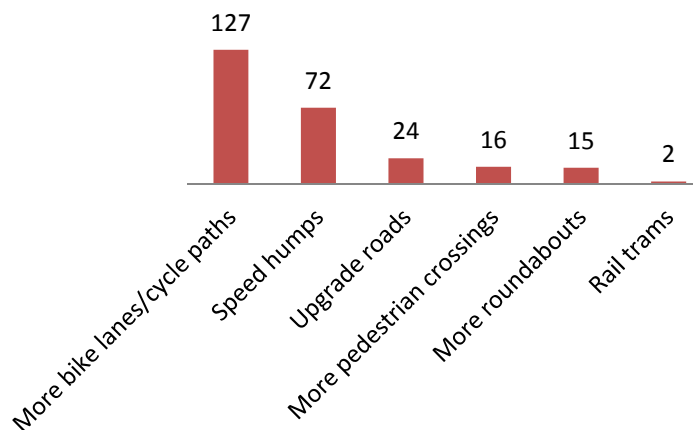


Traffic Management and Parking

In general, Hamilton Hill's roads are safe, well maintained and efficient

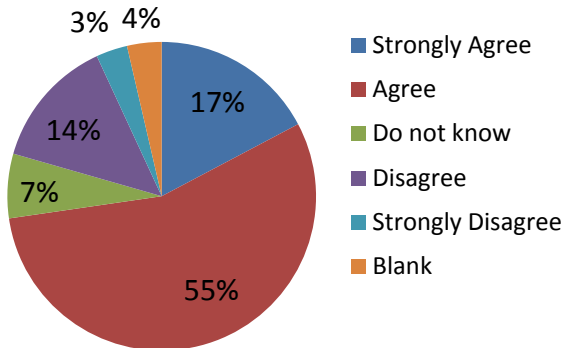


Do you have any other comments about Hamilton Hill in respect to pedestrian and cycle paths and/or traffic?

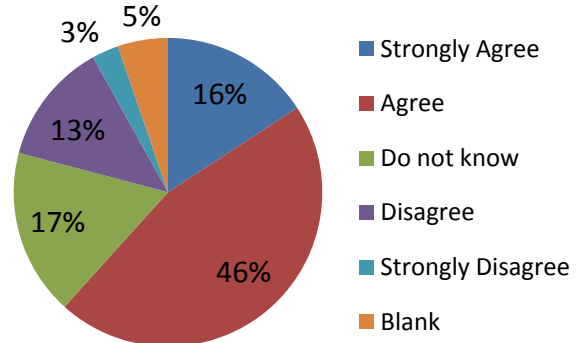


Part Four - Parks

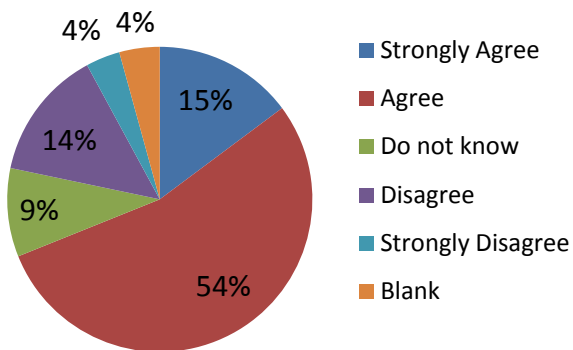
Your local parks are attractive and well maintained



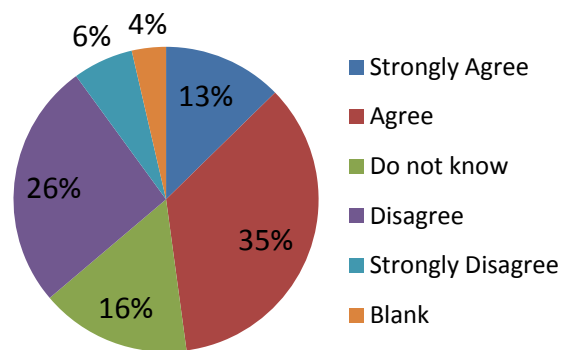
You have access to good playgrounds



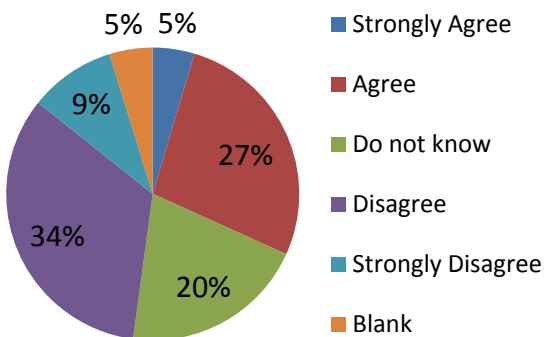
Your parks have adequate shade trees



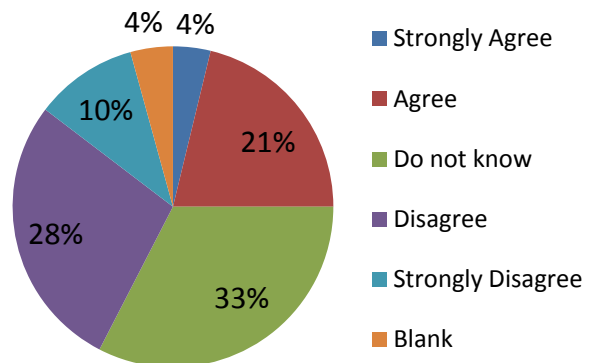
You have access to good picnic areas in your parks



There is adequate seating in your parks

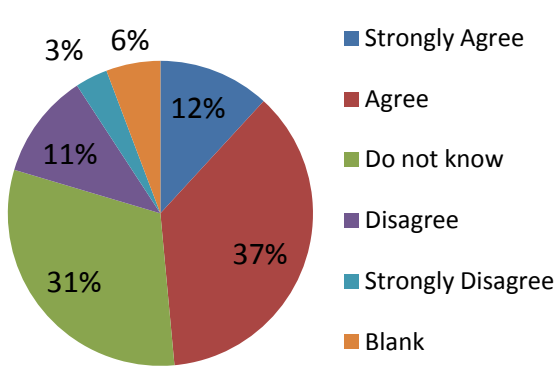


There is adequate lighting in your parks

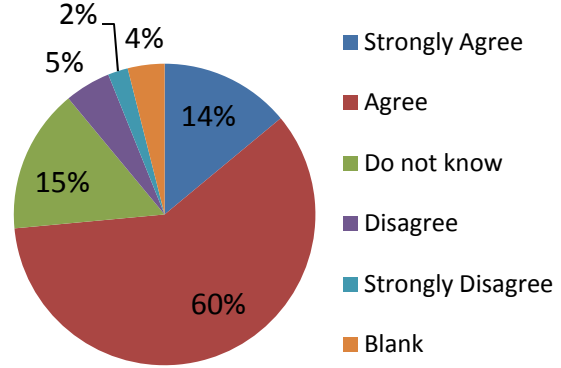


Part Four – Parks...continued

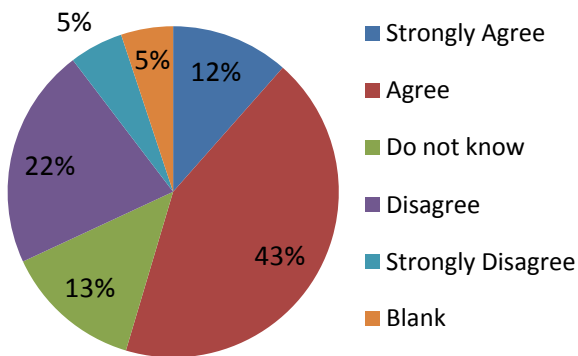
You have access to good dog exercise areas



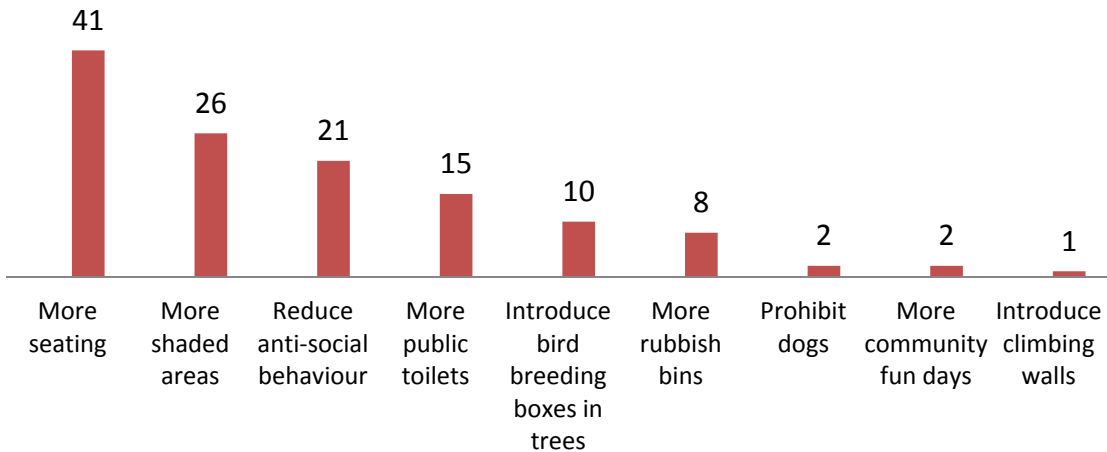
You have access to good sporting fields



There are good walking paths through your parks which connect well to the street network

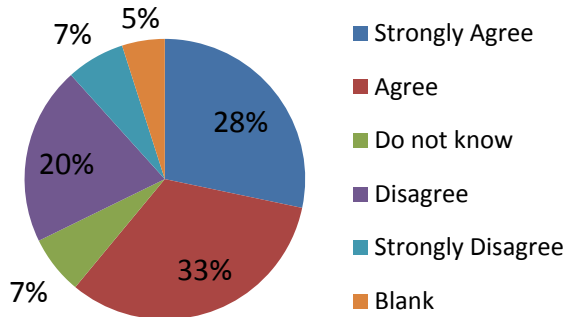


If you could change anything about the parks in Hamilton Hill, what would it be?

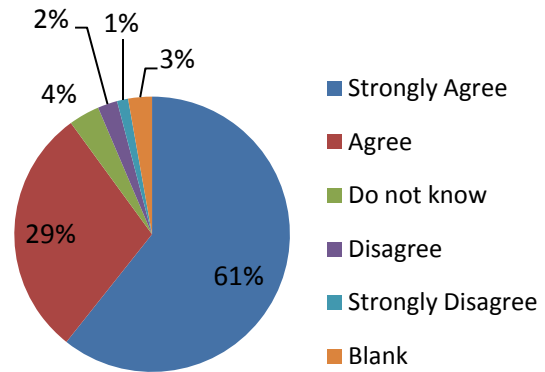


Part Five – Character

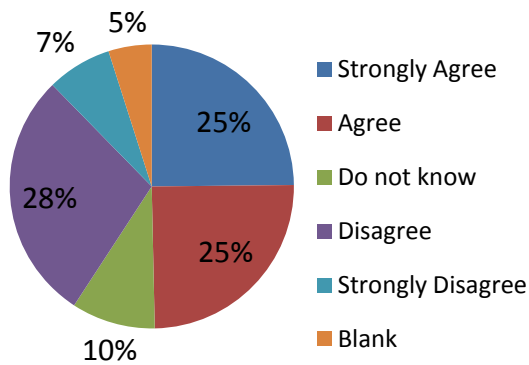
The heritage of the suburb is important to me



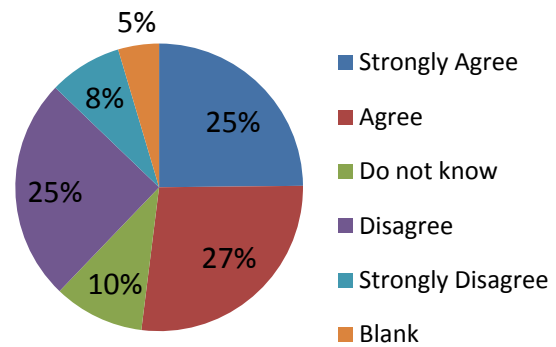
The many trees within the suburb are important to me



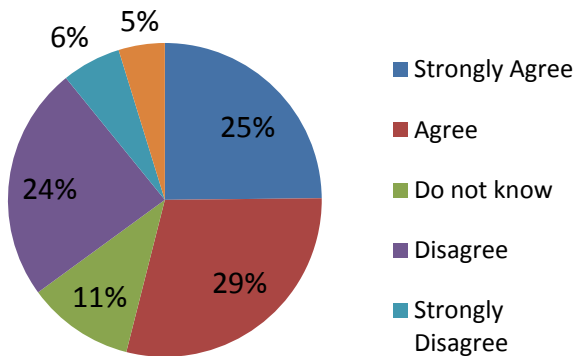
The large residential lots within the suburb are important to me



The large setbacks between houses and the streets are important to me

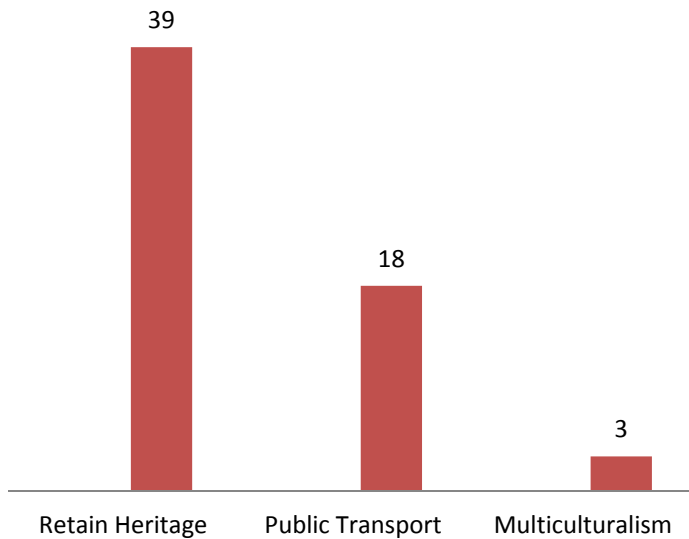


The large setbacks between houses are important to me

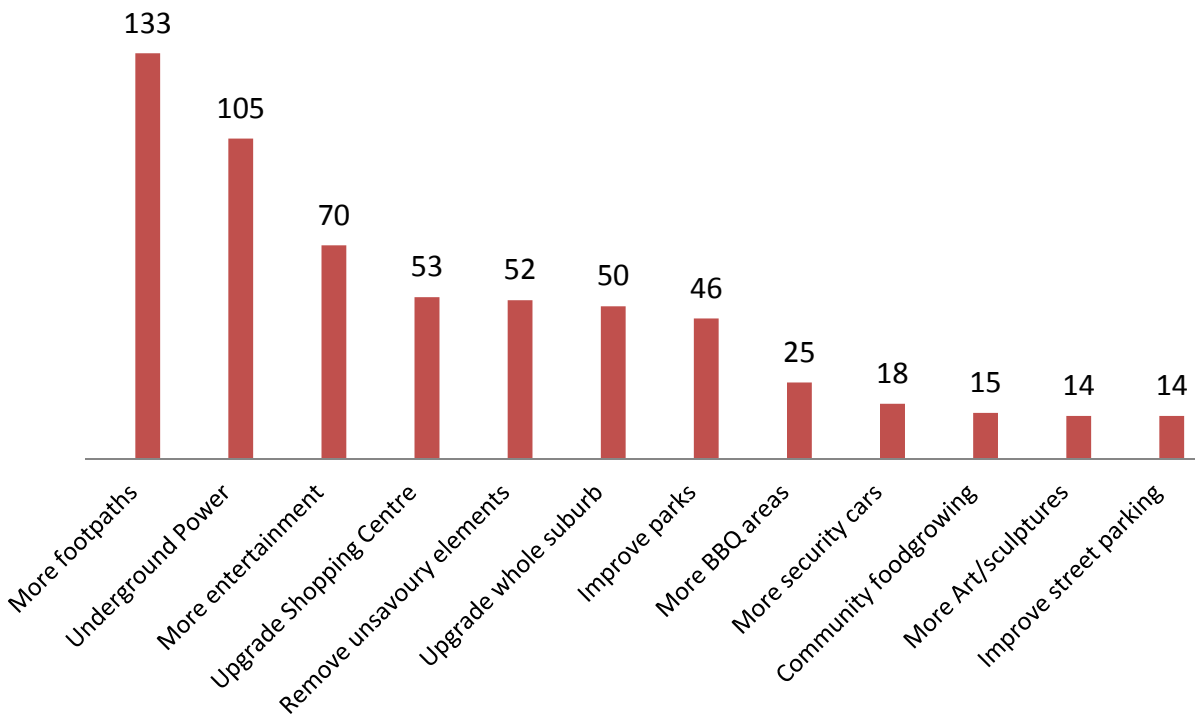


Part Five – Character

Is there anything else about the character of Hamilton Hill that is important to you?



If you could change anything about the character of Hamilton Hill, what would it be?



APPENDICIES

APPENDIX 8

Community Visioning Forum Questionnaires and Summary of Responses

HAMILTON HILL REVITALISATION STRATEGY

COMMUNITY VISIONING FORUMS ~ Questionnaire

What interest do you have in the Hamilton Hill community? (Tick all that apply.)

- I am a resident.
What street do you live in?
- I represent a group or organisation.
Which group or organisation?

-
- I am a business owner.
What is your type of business
its location?
 - Another interest.

What aspects of Hamilton Hill do you value and are important for the future?
(e.g., identify the things that you really like & don't want to change.)

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Are there problems with the way Hamilton Hill has been developing (or not developing)?

(e.g., identify things that have changed that you don't like, and things that you wish would improve.)

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What directions should future growth and change in Hamilton Hill take?

(e.g., relating to housing types & locations, open spaces, community facilities, shopping & commercial areas, roads, footpaths, public transport, streetscapes, safety & security, etc.)

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Does Hamilton Hill have a community or social “heart”? If so, where is it? What form does it take? (i.e., is it a shopping centre, a park, some community facility, a school, a geographical feature, or something else?)

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If you don't consider Hamilton Hill has a community or social “heart”, then what place or facility in the surrounding area do you most readily associate with, and most often go to?

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Do you support the principle of greater housing choice being made available in Hamilton Hill? (i.e., more duplexes, town houses, units and flats) Yes No

If your property was rezoned, would you consider subdividing and redeveloping your property, or selling to a developer? Yes No

Do you support the principle of more retirement housing being provided in Hamilton Hill?

Yes No

Do you support the planting of more street trees in Hamilton Hill? Yes No

Do you consider the undergrounding of power lines to be a priority? Yes No

Which local shopping centre(s) within Hamilton Hill do you most often visit, & how often?

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.....

Could that shopping centre be improved, and if so, how?

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.....

Which local park in Hamilton Hill do you most often visit?

.....
.....
.....

Could that park be improved, and if so, how?

.....
.....
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.....

Which street(s) or road(s) in Hamilton Hill require the most improvement in terms of upgraded traffic safety, pedestrian safety and amenity, and visual/streetscape improvement?

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Completed Questionnaires – Summary

A total of 94 questionnaires were returned. Most were fully completed.

Total attendance at the two Forums was 129. This represents a questionnaire return rate from those who attended of 73%.

PAGE ONE

WHAT INTEREST DO YOU HAVE IN THE HAMILTON HILL COMMUNITY?

- 74 were residents
- 4 were representing a group or organisation
- 3 were business owners
- 13 had other interests (mostly landowners & “landlords”)

A small number had multiple interests.

WHAT ASPECTS OF HAMILTON HILL DO YOU VALUE & ARE IMPORTANT FOR THE FUTURE?

The most common responses were:

- **Accessibility/convenient geographic location relative to the beach, Fremantle, hospitals, train stations, etc.**
- **Greenery/parks/ovals, natural bushland, Manning Park especially.**
- Memorial Hall
- Baker Square
- Accessible public transport
- Diversity and accessibility of small shopping centres
- Affordable housing
- Sense of community
- Quietness

ARE THERE PROBLEMS WITH THE WAY HAMILTON HILL HAS BEEN DEVELOPING (OR NOT DEVELOPING)?

The most common responses were:

- **Lack of meeting places/local hubs/community gathering spaces.**
- **Unattractive/poor/neglected street verges/lack of trees on verges & in parks.**
- **Lack of dual use paths/bike paths connecting to surrounding suburbs.**
- **Lack of affordable aged care facilities.**
- **Too many vacant shops, derelict commercial buildings.**
- **Lack of local medical facilities.**
- Roe Highway Reserve blight/uncertain future
- Insufficient youth recreation opportunities (skate park, BMX park)
- Tardy undergrounding of powerlines
- Stagnating development, inability to subdivide/redevelop
- Vacant/poor quality Homeswest housing
- Speeding traffic/excessive street parking

WHAT DIRECTIONS SHOULD FUTURE GROWTH & CHANGE IN HAMILTON HILL TAKE?

The most common responses were:

- **More houses required/medium-density/smaller blocks/villa-type houses/housing diversity/affordable housing**
- **More mixed use development required**
- **Higher densities required around shops**
- **More meeting places/community hubs/community facilities/local festivals needed**

- **Improved verges/waterwise plantings/shade trees/street beautification/"greening" needed**
- **Improved parks & youth recreation opportunities, tree planting in parks, more children's play spaces, continue to upgrade Manning Park**
- More cycle paths
- More shops/upgraded shopping centres
- More aged care facilities & accommodation
- Preservation of natural bushland
- Convert Roe Highway Reserve to a "greenway"/delete MRS Reserve
- Light rail line to Fremantle
- Improved public transport
- Improved/safer Rockingham Road
- Underground power for all

**Does Hamilton Hill have a community or social "heart"? If so, where is it?
What form does it take?**

Times mentioned:

- | | |
|---|-----------|
| ▪ No, Hamilton Hill doesn't have a heart – | 43 |
| ▪ Manning Park – | 15 |
| ▪ Memorial Hall – | 6 |
| ▪ Baker Square – | 5 |
| ▪ Seniors' Centre on Rockingham Road – | 4 |
| ▪ Davilak Oval – | 2 |
| ▪ IGA – | 2 |
| ▪ Enright Reserve – | 1 |
| ▪ HH has a "social" heart – | 1 |

If you don't consider Hamilton Hill has a community or social "heart", then what place or facility in the surrounding area do you most readily associate with, and most often go to?

Times mentioned:

| | |
|-------------------------------------|----|
| ▪ Fremantle/South Fremantle – | 12 |
| ▪ South Beach – | 10 |
| ▪ Manning Park – | 9 |
| ▪ Dodd Street/Simms Rd shops – | 5 |
| ▪ Baker Square – | 4 |
| ▪ Phoenix Shopping Centre – | 4 |
| ▪ Coogee – | 3 |
| ▪ South St, Hilton – | 2 |
| ▪ Dixon Park – | 2 |
| ▪ Corner Carrington/Rockingham Rd – | 1 |
| ▪ Hamilton Hill Shopping Plaza – | 1 |
| ▪ Enright Reserve – | 1 |
| ▪ Paget St, Hilton – | 1 |
| ▪ Gateways Shopping Centre – | 1 |
| ▪ Seniors' Centre – | 1 |
| ▪ Hilton Bowling Club – | 1 |
| ▪ Bibra Lake – | 1 |
| ▪ IGA Rockingham Road – | 1 |
| ▪ Bushland east of Cockburn Road – | 1 |
| ▪ Success – | 1 |
| ▪ South Lake Aquatic Centre – | 1 |

Do you support the principle of greater housing choice being made available in Hamilton Hill?

Yes 71 No 9

If your property was rezoned, would you consider subdividing and redeveloping your property, or selling to a developer?

Yes 59 No 22

Do you support the principle of more retirement housing being provided in Hamilton Hill?

Yes 76 No 1

Do you support the planting of more street trees in Hamilton Hill?

Yes 81 No 9

Do you consider the undergrounding of power lines to be a priority?

Yes 68 No 16

Which local shopping centre(s) within Hamilton Hill do you most often visit, & how often?

Times mentioned:

| | |
|--|----|
| ▪ IGA/Winterfold Street/Simms Road/Dodd St – | 46 |
| ▪ IGA Rockingham Rd – | 31 |
| ▪ Phoenix Shopping Centre – | 19 |
| ▪ South Fremantle – | 3 |
| ▪ Gateway – | 1 |

Could that shopping centre be improved, and if so, how?

Complaints about the shopping centres centred on the following main issues:

| | |
|---|----|
| ▪ Lack of particular outlets/more variety required (cafés, medical facilities, small bars, restaurants, community uses) – | 27 |
| ▪ Untidy/visually poor/dirty/seedy/needs maintenance/facelift – | 26 |
| ▪ Poor parking layout//insufficient parking/insufficient bike racks/ lack of car park shade – | 11 |
| ▪ Open space/plaza/al fresco areas needed – | 9 |
| ▪ Improved landscaping/shade trees/green space required – | 9 |
| ▪ Pedestrian/user/traffic safety needs improving – | 8 |

- Vacant premises need filling/cleaning up – 4
- Excessive advertising signage – 1
- Anti-social behaviour – 1
- Friendlier service required – 1

Which local park in Hamilton Hill do you most often visit?

Times mentioned:

- **Manning Park** – 44
- Enright Reserve – 11
- Dixon Park – 8
- Baker Square – 6
- Davilak Reserve – 5
- Lorraine Place/Young Place Park – 3
- Isted Reserve – 3
- Healey Road – 3
- Wheeler Street Reserve – 1
- Beale Park – 1
- Goodchild Park – 1

Could that park be improved, and if so, how?

- **Manning Park** – more connecting cycle paths, more seats, water fountain, more shade, more trees, variety of play & exercise equipment, provide park around lake, build pedestrian bridge across lake, provide youth activities, security cameras, general upgrading, better lighting, better interpretation of scarp, control invasive weeds, needs a coffee shop/restaurant, BBQs, more public events/festivals, remain open until 8pm, upgrade status to a Regional Park.
- **Enright Reserve** – children’s play area needs upgrading, more trees, tables & seats, upgrade clubrooms.

- **Dixon Park** – needs sporting facilities, community centre, play equipment for small children, skate park, more seating, water feature/wetland area, plant gardens, more trees, exercise equipment, BBQs, (two respondents asked to return the land to wetlands).
- **Baker Square** – more rigorous dog poo collection, more seats under the trees, more trees, open clubrooms to general community use, add toilets, better BBQ area, needs small children’s playground with shade sails, bigger community meeting space, fruit trees, artworks, fence needs mending, more youth activities needed, hold an annual fair.
- **Davilak Reserve** – replace grass outside oval with native groundcovers, introduce a recreation centre/activity hub.
- **Wheeler Street Reserve** – improved maintenance.
- **Lorraine Place/Young Place Park** – provide more seats, adult exercise equipment, BBQs, name plates on trees.
- **Isted Reserve** – BBQ, covered tables, more trees & seats, community garden.
- **Healey Road** – better children’s play equipment, toilets, sitting areas, picnic tables, policing of anti-social behaviour.
- **Beale Park** – lighting.
- **Godchild Park** – upgrade buildings & provide new toilets.

Which street(s) or road(s) in Hamilton Hill require the most improvement in terms of upgraded traffic safety, pedestrian safety and amenity, and visual/streetscape improvement?

Times mentioned:

- **Rockingham Road** – 23 (needs bicycle lanes, regular & better pedestrian crossings, street trees, improved streetscape, reduced speeds, better lighting, light rail)
- **Carrington Street** – 22 (needs bicycle lanes, regular pedestrian crossings, reduced speeds, improved streetscape, light rail)
- **Healy Road** – 9 (needs reduced speeds)

- **Forrest Road** – 6 (needs streetscape improvements, street trees, improved traffic safety, reduced speeds)
- **Hamilton Road** – 6 (needs better lighting, upgraded footpaths, improved pedestrian safety)3
- Clontarf Road – 4 (needs improved streetscape)
- Winterfold Road – 3
- Davilak Ave – 3 (needs reduced speeds, improved pedestrian safety)
- Forrest Road – 2 (needs streetscape improvements)
- Wheeler Road – 2 (centre line marking required)
- Cockburn Road – 2
- Frederick Road – 1 (needs streetscape improvements)
- Redmond Road – 1
- O’Connell Street – 1
- Mortlock Street – 1 (needs reduced speeds)
- Redmond Road – 1 (remove traffic calming devices)
- Leda Street – 1 (needs better lighting)
- Simms Road – 1 (needs streetscape improvements)
- Gummow Street – 1 (needs footpaths)
- Winfield Street – 1 (needs better lighting & security)
- Phoenix Road – 1
- “all roads” – 1

NOTE: Some responders did not answer all questions, so numbers may not tally in some instances.

APPENDICIES

APPENDIX 9

Public Advertising Schedule of Submissions

SCHEDULE OF SUBMISSIONS
DRAFT HAMILTON HILL REVITALISATION STRATEGY

| NO. | NAME/ADDRESS | SUBMISSION | COUNCIL'S RECOMMENDATION |
|-----|--|--|--------------------------|
| 1 | Submission made in confidence | <p>Support</p> <p>Affected property owner, as above</p> <p>We fully support the revitalisation strategy, especially the upcasting of the R Codes to allow increased density.</p> | Noted |
| 2 | Shirley Elliott 34 Wheeler Road Hamilton Hill | <p>Support</p> <p>Fully supports the proposed changes in the Hamilton Hill revitalisation Study</p> | Noted |
| 3 | Anna Corona 84 Ocean Road SPEARWOOD WA 6163 | <p>Support</p> <p>We welcome the initiative of the proposed residential density plan of Hamilton Hill.</p> <p>We support all future endeavours to do with residential density growth of Hamilton Hill and surrounding areas.</p> | Noted |
| 4 | George Boot 77 Jean Street HAMILTON HILL WA 6163 | <p>Support</p> <p>I completely agree with the proposed residential density plan and i am surprised that it has taken so long. I support these changes because:</p> <ol style="list-style-type: none"> 1) It will reduce the financial burden on govts & tax payers for the large infrastructure costs on creating new subdivisions. 2) There will be financial benefits for home owners & increase revenue for the Cockburn Council. 3) It will maximise the use of Council facilities e.g parks, ovals, community buildings, beaches. 4) Water consumption / person will be reduced by increasing the number of houses, without increasing the amount of gardens, lawns, parks & ovals ect | Noted |
| 5 | Mary Munford 19 Frederick Road HAMILTON HILL WA 6163 | <p>Support</p> <p>I am happy with the proposed changes. I have no plans to sell or subdivide, but it will add value to my property if I choose to.</p> | Noted |
| 6 | Noel Kuren 24A Lee Avenue HILTON WA 6163 | <p>Support</p> <p>Would consider subdividing block & building additional residence if draft proposal goes</p> | Noted |

| NO. | NAME/ADDRESS | SUBMISSION | COUNCIL'S RECOMMENDATION |
|-----|---|--|--|
| | | <p>ahead. Am in favour of proposal in my opinion there are a considerable number of dwellings on large blocks which only use a small portion of the blocks. These blocks could be better utilized if sub divided.</p> | |
| 7. | Vic & Julie Strnadicia 24 Dodd Street HAMILTON HILL WA 6163 | <p>Support I fully agree to the Revitalisation program the Council is proposing I think it is a good thing for Hamilton Hill and the future it will attract, more residents to the area and be good for surrounding businesses.</p> | Noted |
| 8. | Sergio Del Borrello 115 Forrest Road HAMILTON HILL WA 6163 | <p>Support Myself and my family support the draft proposed residential density plan. It would encourage us to redevelop our property to the maximum. Once the strategy is finalised we will look to submit plans for consideration.</p> | Noted |
| 9. | Alex Johnston 84 Arkwell Street WILLAGEE WA 6156 | <p>Support I am planning on constructing three town houses at 13 Fortini Court. The proposal is a step in the right direction to pursue sustainable urban development. The proposed rezoning is exactly what i need to build three town houses at 13 Fortini Court although I speak from the perspective of an individual investor. I hope the planned rezoning takes place</p> | Noted |
| 10. | Katherine Dobson 7 Kerry Street HAMILTON HILL WA 6163 | <p>Support Be able to subdivide is a great outcome for myself.</p> | Noted |
| 11. | Martin Gregory 7 Kerry Street HAMILTON HILL WA 6163 | <p>Support Becomes achievable to building backyard for aging parents & subdivide at later date / great idea.</p> | Noted |
| 12. | Vincenzo & Laura Nibali 8 Le Souef Drive KARDINYA WA 6163 | <p>Greenslade has been operating as a business for over 80 years. As such we believe it should be zoned commercial. It has become something of an identity in Hamilton Hill being the place where the local residents come to meet and socialise. A unique quality possessed by a few businesses today. Bearing this in mind, we have a vision for Greenslades which will help to enhance the aesthetic appeal of Hamilton Hill and the wider community of Cockburn. As far as infill goes we believe the planning committee has made appropriate density codes for the area.</p> | <p>Supported It is recommended that the Strategy be amended to propose the rezoning of the Greenslades shop site to Local Centre. This rezoning would allow for a variety of commercial uses to be undertaken. The rezoning would not increase the impact on the surrounding residential land uses as the uses allowed under the Local Centre zone create no more impact than the current use. Potential issues relating to commercial uses</p> |

| NO. | NAME/ADDRESS | SUBMISSION | COUNCIL'S RECOMMENDATION |
|-----|---|--|---|
| | | | <p>adjacent to residential uses such as noise, spill over parking and increased traffic can be considered and addressed as part of any future development application approval process under the Local Centre Zone.</p> <p>The use of the Greenslades site as a cafe, as suggested by the landowners, would provide a valuable gathering point for the Hamilton Hill community. The community consultation undertaken in October 2011 and various submissions made during the advertising period raised the desire for more cafes and social hubs within the area. The site's location adjacent to Davilak Park makes it an ideal location for a cafe.</p> <p>Refer to Attachment of 2 of the Council Report.</p> |
| 13 | Ismet Aslan 105 Clontarf Road HAMILTON HILL WA 6163 | <p>Support</p> <p>Proposed draft plan is a good plan. R30 density is better for my interests.</p> | Noted |
| 14 | Simon Attenborough 182 Forrest Road HAMILTON HILL WA 6163 | <p>Support</p> <p>Generally my wife and I are happy about the revitalisation strategy for Hamilton Hill due to the perceived increase in property values.</p> <p>Our only concern is that the properties behind us are to be zoned R30/40 paving the way for a more condensed living arrangement for this area. In turn this may add to extra privacy and noise issues that we didn't anticipate when buying this residence last year.</p> <p>The same zoning as the front blocks is more conducive (R30 Only)</p> | <p>Noted</p> <p>The dual coding of R30/40 will result in lots behind 182 Forrest Road to be subdivided into four rather than three lots. This is not considered a significant increase in intensity of development. Overlooking issues will be addressed as part of any future development application.</p> |
| 15 | Phil Morris 42 Ommanney Street HAMILTON HILL WA 6163 | <p>Objection</p> <ol style="list-style-type: none"> 1. The proposal will devalue my property currently a duplex block, one of few, the proposal will make them plentiful thus less demand. 2. The R40 area opposite my property is a disabler in terms of planning, it's usually congested, aesthetically ugly and drunkards yelling at the top of their voices through the night is hardly commendation of good social planning. 3. I didn't like the plan the first time it was asked for an opinion I wonder why this | <p>Not Supported</p> <p>Devaluation of land is not a valid planning consideration.</p> <p>It is not supported that medium density development will encourage anti-social behaviour.</p> |

| NO. | NAME/ADDRESS | SUBMISSION | COUNCIL'S RECOMMENDATION |
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| | | is being rehashed. | <p>In regard to the submissioner's concerns about traffic congestion the City has already identified that roads across the City will need to evolve as part of forecast future growth. This work forms part of a current project being undertaken by the City, in terms of updating the District Traffic Study to 2031.</p> <p>As has occurred in the Phoenix Central Revitalisation Strategy area, development within Hamilton Hill will occur gradually. The density changes proposed in the Hamilton Hill Revitalisation Strategy are expected to result in an additional 800 dwellings by 2032. This means a 32% increase in dwelling numbers within the current study area. The incremental nature of the increase in dwelling numbers and associated increase in traffic allow the City to plan appropriately for the road upgrades required to accommodate this change.</p> <p>Refer to the Council Report for a detailed response to traffic considerations.</p> |
| 16 | Peter K Moeller 39A Ingram Street HAMILTON HILL WA 6163 | No Interest, No Comment | Noted |
| 17 | Mavis K McAuliffe 39B Ingramstreet HAMILTON HILL WA 6163 | No comments | Noted |
| 18 | Ian Hoffman & Susan Peppiatatt 138 Waddell Road BICTON WA 6157 | <p>Support</p> <p>We agree with the proposed residential density plan. The plan would allow me to develop 17 Coates St, either as units or to put a second dwelling on it.</p> <p>We generally support greater infill.</p> | Noted |

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| 19 | Kylie Pain & Ty Spencer 6 Aberle Street HAMILTON HILL WA 6163 | <p>Support</p> <p>We are in full support of proposed rezoning.</p> <p>We would also support increasing zoning of all of Aberle Street to R30/40 as is proposed for the end of the street surrounding the School / public open space.</p> | <p>Not Supported</p> <p>The R30/40 density is proposed for lots adjacent to public open space which benefit from the added amenity the public open space offers. A base code of R30 is considered an appropriate base coding for the majority of the suburb in order to retain the character of the area, while providing for infill development potential for most lots.</p> |
| 20 | Paul Cone & Shona Smith 18 Schofield Street HAMILTON HILL WA 6163 | <p>Support</p> <p>As owner/occupier, we would both very much agree to this zoning change</p> | <p>Noted</p> |
| 21 | Delray Newman 23 Joyce Avenue HAMILTON HILL WA 6163 | <p>Support</p> <p>Would like to see the zoning changed to R30, this would increase the value of my property and make it subdividable, bringing more people into the area. Revitalising Hamilton Hill as a result.</p> | <p>Noted</p> |
| 22 | Lucia Supino 32 Wheeler Road HAMILTON HILL WA 6163 | <p>Support</p> <p>Good i can build on my land. I am in full favour of the new Hamilton Hill revitalisation strategy.</p> | <p>Noted</p> |
| 23 | MsCif Pty Ltd 45 Elizabeth Street North perth WA 6006 | <p>Support</p> <p>MsCif Pty Ltd is the owner of 6 Mortlock Street, Hamilton Hill. The Draft Strategy proposes to change the R code of the above property to R30. To the east (along Mortlock St), it is proposed to change the Rcode to R40 and to the west to R30/R40.</p> <p>Consequently, there are only 2 properties along the north side of Mortlock St (mine and that immediately to the East of mine) that are not the higher R30/40 or R40 code. The R code of my property should be the higher Rcode and preferably R40.</p> <p>If the reason why the properties to the west of my block, along Mortlock St have the R30/40 code is because of their proximity to Baker Square, I note that my property is only 3 blocks from it.</p> <p>Interestingly, I note that north along Weavell street, the last (furthest) property that is R30/R40 is three blocks away from the edge of the park (like mine, but along Mortlock Street). My block is also physically closer to the edge of the park compared to the last block (furthest) north along Weavell Street that is R30/40.</p> | <p>Supported</p> <p>The submissioner's request to extend R40 coding over their property is supported. It is recommended that the Strategy be amended so as to extend the proposed R40 density coding east along Healy Road and Mortlock Street between Bakers Square and Carrington Street and also along the eastern side of Hood Street. This amendment provides a more logical allocation of densities, by removing the transition from R40 to R30 and then to R30/40. Refer to Attachment 2 of the Council report to view the changes.</p> |

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| 24 | Matt & Bree Johnston 48 Whittaker Turn PIARA WATER WA 6112 | <p>Support</p> <p>Bree and I support the proposed increase to residential densities in Hamilton Hill.</p> <p>This is because we support better sustainability through infilling suburbs. We also support this proposal because increased council funds may be spent upgrading the suburb.</p> | Noted |
| 25 | Ana L Pereira 4 Hyam Street HAMILTON HILL WA 6163 | <p>Support</p> <p>Yes interested for it to go ahead.</p> <p>Yes I would be interested for it to go ahead. I would like to subdivide the block; I have 815 SQ metres of land.</p> <p>What do I need to do at this stage?</p> | Noted |
| 26 | Rune Mikkelsen 31 Sowden Drive SAMSON WA 6163 | <p>Support</p> <p>Fully supportive of the strategy that would provide the opportunity to provide additional residences in an area so close to Fremantle.</p> | Noted |
| 27 | Damon Brown PO Box 1467 JOONDALUP WA 6027 | <p>Support</p> <p>I agree with the re-zoning of my property from R20 to R30.</p> <p>This is based on the fact that I may develop my property into 2 titles in the future.</p> | Noted |
| 28 | Nicola, Emma & Luke Trolio 27 Hamilton Road HAMILTON HILL WA 6163 | <p>Being an elevated prime corner location of 1163M2 at the corner of Winfield Street and Hamilton Road, Hamilton Hill close to public transport, schools, shopping facilities and only approximately 150 metres to the Memorial Hall, we the owners feel it should be rezoned to at least R40. The property has been family owned for over 50 years and our intention would be to develop 4 modern townhouses or apartment style residences.</p> <p>Please review the zoning of at least R40 favourably.</p> <p>We are pleased to write as a request to amend the proposed re-zoning for our property at 25 Hamilton Road, Hamilton Hill. We find this property to be both in an elevated position and in a prominent corner location (1163 sqm land size). Further, being situated so close to public transport, schools and shopping facilities we believe would lend itself towards a higher density zoning than that of the proposed.</p> <p>This property has been family owned since its build year, some 52 years ago. Our intent would be to develop four (4) very modern townhouses or apartment style residences. We request, that all decision makers, review the zoning for this property</p> | <p>Supported</p> <p>The submissioner's request to code land adjacent to Hamilton Road is supported. It is recommended that the Strategy be amended to show lots directly adjacent to Hamilton Road as R40. This amendment responds to the presence of a public transport route down Hamilton Road.</p> <p>Refer to Attachment of 2 of the Council Report.</p> |

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| | | <p>and amend to a minimum of R40.</p> <p>We refer to the properties below for references and consideration to amend: *27 Gerald Street Spearwood- R60 zoning (existing), corner location of about 740 sqm *Lots along Recreation Rd R40 (proposed) *Lots along Helen St R60 (proposed)</p> | |
| 29 | Iain & Jackie Massey 835 Balingup-nannup Road SOUTHAMPTON WA 6253 | <p>Support</p> <p>We support the proposed plan. These larger lots created in the early 1960's are no longer an optimal use of land. Hamilton Hill is handy to transport, besides the coast and amenities. Fifty years on the time has come to increase density.</p> <p>We look forward to being able to create a second dwelling on our property.</p> | Noted |
| 30 | Adam Connolly 41 Hanlon Street HAMILTON HILL WA 6163 | <p>Objection</p> <p>We chose our property for its location and lack of traffic. If these proposals go ahead there will be at least twice as much traffic on our Street.</p> <p>As a father of 3 young children (who at this point love walking our Street safely) I believe that any change to our Street will dramatically deteriorate its character. Our family oppose the proposal.</p> | <p>Not Supported</p> <p>The submission's concerns regarding traffic congestion are not supported. The City has already identified that roads across the City will need to evolve as part of forecast future growth. This work forms part of a current project being undertaken by the City, in terms of updating the District Traffic Study to 2031.</p> <p>As has occurred in the Phoenix Central Revitalisation Strategy area, development within Hamilton Hill will occur gradually. The density changes proposed in the Hamilton Hill Revitalisation Strategy are expected to result in an additional 800 dwellings by 2032. This means a 32% increase in dwelling numbers within the current study area. The incremental nature of the increase in dwelling numbers and associated increase in traffic allow the City to plan appropriately for the road upgrades required to accommodate this change.</p> <p>Refer to the Council Report for a</p> |

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| | | | detailed response to traffic considerations. |
| 31 | Sonja Seal, Western Power Locked Bag 2520 PERTH WA 6001 | <p>Support</p> <p>There are no objections; however, there are overhead powerlines and/or underground cables, adjacent to or traversing the property. Therefore, the following should be considered, prior to any works commencing at the above site/development/property.</p> <p>Working in proximity to Western Power Distribution Lines All work must comply with Worksafe Regulation 3.64 - Guidelines for Work in the Vicinity of Overhead Power Lines. If any work is to breach the minimum safe working distances a Request to Work in Vicinity of Powerlines form must be submitted. For more information on this please visit the Western Power Website links below: http://www.westernpower.com.au/safety/Electrical_Safety_at_Work.html http://www.westernpower.com.au/safety/DialBeforeYouDig.html or www.1100.com.au http://www.commerce.wa.gov.au/WorkSafe/</p> <p>Working in proximity to Western Power Transmission Lines All work must comply with Worksafe Regulation 3.64 - Guidelines for Work in the Vicinity of Overhead Power Lines. Our standard conditions for working in close proximity to overhead transmission lines are attached for your information. For more information on this please visit the Western Power Website link below: http://www.westernpower.com.au/safety/Safety_Transmission_Lines.html</p> <p>Please note: Western Power must be contacted on 13 10 87, if your proposed works involve:</p> <p>A) Any changes to existing ground levels around poles and structures.</p> <p>B) Working under overhead powerlines and/or over underground cables.</p> <p>Western Power is obliged to point out that any change to the existing(power) system, if required, is the responsibility of the individual developer.</p> | Noted |
| 32 | Maria Dennis PO Box 3002 WEST HOBART 7000 | <p>Concern about the increase in traffic that increased density will cause what is being done to increase the use of public transport.</p> <p>Hamilton Road is narrow and is already busy at peak times. The increase in housing density will increase the amount of traffic considerably as the whole Cockburn coastal section is being developed, also concerned about Hamilton Road becoming difficult to enter and increased traffic noise. What is planned to alleviate these problems long term?</p> | Noted In regards to the submissioner's comments on public transport provision in Hamilton Hill the City supports greater provision of public transport. Public transport provision is the responsibility Public Transport |

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| | | Urban infill I agree with, if cars are not the only form of transport widely used. | <p>Authority. In 2011 the City of Cockburn in partnership with the City of Fremantle, East Fremantle and Melville commissioned the Southwest Metro Rapid Transit Network Study to support rapid transit infrastructure investment within these local government areas.</p> <p>In regard to the submissioner's concerns about traffic congestion the City has already identified that roads across the City will need to evolve as part of forecast future growth. This work forms part of a current project being undertaken by the City, in terms of updating the District Traffic Study to 2031.</p> <p>As has occurred in the Phoenix Central Revitalisation Strategy area, development within Hamilton Hill will occur gradually. The density changes proposed in the Hamilton Hill Revitalisation Strategy are expected to result in an additional 800 dwellings by 2032. This means a 32% increase in dwelling numbers within the current study area. The incremental nature of the increase in dwelling numbers and associated increase in traffic allow the City to plan appropriately for the road upgrades required to accommodate this change.</p> <p>Refer to the Council Report for a detailed response to traffic considerations.</p> |
| 33 | David Orr & Gaye Smith 28 Coreen Way KALAMUNDA WA 6076 | <p>Support</p> <p>As owners of an investment property we support the proposed change in R ratings for our property, as it will increase its value.</p> | Noted |

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| | | <p>We also support the increase in the density of the area surrounding the Dodd Street shops of which we are a part, as it makes sense to have this as a centralized services area, along a major road – Carrington Street.</p> <p>It is also a reasonable proposal, given its proximity to the proposed Roe Highway.</p> | |
| 34 | <p>Paul Tod 176 Healy Road HAMILTON HILL WA 6163</p> | <p>Support</p> <p>My zoning would go from R20 – R60.</p> <p>This is a fantastic idea – I walk to the shops every day and wonder why more people can't do the same – shops, chemist, takeaway, pub, deli etc bus routes are all close. More people will raise the ambience, safety and ethics of the area if people are encouraged to invest. I have already noted a change in the last few years so anything that adds diversity and commercial visibility has to head.</p> <p>Main Concern – Planning implementations and funding for revamping whole shopping complex is essential (like Hilton tube) trees, paving, covered areas, planter boxes, good lighting and anything that adds character will make people want to live there, please consider this in your next budget.</p> | Noted |
| 35 | <p>Lionel J Kelly 171 Clontarf Road HAMILTON HILL WA 6163</p> | <p>At this point we have no intention of selling – the future will take care of itself. Originally lot 14 now 171 Clontarf Road Hamilton Hill 6163.</p> <p>No further comment.</p> | Noted |
| 36 | <p>Donna & Bradley Wenn 18 Aberle Street HAMILTON HILL WA 6163</p> | <p>Support</p> <p>As owner and landlord I fully endorse amendments to the R Code for Hamilton Hill.</p> <p>Pleased to see progress being made in Cockburn area. Infill is what is needed to stop urban sprawl along WA Coast.</p> | Noted |
| 37 | <p>Marion Fisher 3 Mainstone Place HAMILTON HILL WA 6163</p> | <p>Objection</p> <p>I'm against high density development in this area. It leaves no room on the land for what I see as a necessary component of human health and well being – gardens to grow plants and vegetables, room for children to play and explore, room for families and aged folk to connect with nature, sunshine, earth, plants and socializing with each other on a daily basis.</p> <p>Full blocks of housing are not only unattractive but encourage an indoors lifestyle with the company of TVs and computers ect, not community.</p> <p>High density won't solve our growing population issue and it will only benefit developers and council coffers.</p> | <p>Not Supported</p> <p>The density changes proposed by draft Strategy are expected to result in an additional 800 dwellings by 2032. This means a 32% increase in dwelling numbers within the current study area. It is not envisaged that this increase will limit the ability of residents to meet the health and well being needs identified in the submission.</p> |

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| 38 | | <p>Objection –</p> <p>Details to be kept confidential</p> <p>Density plan should not change: more traffic on roads, high rise buildings = lack of privacy and congestion</p> <p>As above in subject of submission. Density plan should not change to a higher ration and should stay as is now. Higher Density, have more traffic on roads, more congestion in areas not designed for extra cars and traffic. High rise building would mean lack of privacy increase in shade, increase in noise. Our suburb is fairly peaceful and quiet now; we would like it to stay that way.</p> | <p>Not Supported</p> <p>In regard to the submissioner's concerns about traffic congestion the City has already identified that roads across the City will need to evolve as part of forecast future growth. This work forms part of a current project being undertaken by the City, in terms of updating the District Traffic Study to 2031.</p> <p>As has occurred in the Phoenix Central Revitalisation Strategy area, development within Hamilton Hill will occur gradually. The density changes proposed in the Hamilton Hill Revitalisation Strategy are expected to result in an additional 800 dwellings by 2032. This means a 32% increase in dwelling numbers within the current study area. The incremental nature of the increase in dwelling numbers and associated increase in traffic allow the City to plan appropriately for the road upgrades required to accommodate this change.</p> <p>Refer to the Council Report for a detailed response to traffic considerations.</p> <p>In regard to the submissioner's concerns regarding overlooking, issues or privacy are addressed by the Residential Design Codes of WA. Privacy of the adjoining landowners will be protected as part of any future development approval not matter the density of the development.</p> |
| 39 | Ana L Pereira 4 Hyam Street HAMILTON HILL WA 6163 | <p>Support</p> <p>Rental Property, Yes I would like for it to go ahead.</p> | <p>Noted</p> |

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| 40 | Remo and Debra Piromalli 37 Pilgrim Way HAMILTON HILL WA 6163 | <p>Support</p> <p>We agree with the objectives of the Draft Revitalisation Plan.</p> <p>We believe that residential infill development should be supported in order to better utilise existing infrastructure, as well as provide greater public numbers available to use public transport etc</p> | Noted |
| 41 | Andrew Stone 48 Tolley Court HAMILTON HILL WA 6163 | <p>Please consider the following submissions for consideration:</p> <p>A traffic light controlled pedestrian crossing at Rockingham Road near the junction with Starling street, Hamilton Hill.</p> <p>This stretch of Rockingham Road is 4 lanes wide and is very difficult to cross for pedestrians and cyclists. Residents living west of Carrington street but north of Rockingham road are hindered from utilising the shopping centre and the bus facilities located at the Scarvaci's IGA site. Increasing urban infill will lead to a rise in demand for people to access this shopping site and utilise the Rockingham road bus facilities. The integration of the shops on the northern strip of Rockingham road opposite the Scarvaci site with that on the southern side would be considerably bolstered by a pedestrian crossing. For example this would allow somebody to visit the supermarket to do grocery shopping and make a separate trip to the butcher. A proper pedestrian crossing would increase the sense of a small community hub here and vastly improve service access for children, elderly people and general commuters wishing to utilise the Transperth bus services on either side of Rockingham Road. This would benefit residents on both sides of Rockingham Road. A good study example for a traffic light controlled pedestrian crossing is that at The Hilton Village Centre on South Street just east of Paget Street in Hilton.</p> | <p>Noted</p> <p>As Main Roads WA are the authority responsible for approving formal pedestrian crossing facilities in WA their approval would need to be obtained for this facility. If approved, a signalised pedestrian crossing is estimated to cost at least \$200,000 to install and it would need to be funded by the City.</p> <p>However, gaining MRWA approval for a signalised pedestrian crossing at the subject location is most unlikely because there is unlikely to be sufficient pedestrian traffic crossing Rockingham Road to satisfy MRWA's warrants. For reference, the MRWA warrant for a signalised pedestrian crossing is:</p> <p>a) For each of 3 hours on an average day:</p> <ul style="list-style-type: none"> • Pedestrian volumes exceed 350 persons per hour • Vehicular traffic exceeds 600 vehicles per hour (one direction) or 1,000 vehicles per hour (total both directions) where there is a central pedestrian refuge <p>b) For each of 8 hours on an average day:</p> <ul style="list-style-type: none"> • The pedestrian volume exceeds 175 persons per hour • Vehicular traffic exceeds 600 |

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| | | | <p>vehicles per hour (one direction) or 1,000 vehicles per hour (total both directions) where there is a central pedestrian refuge</p> <ul style="list-style-type: none"> • There is no zebra crossing, footbridge or underpass within a reasonable distance. <p>Whilst the volume of vehicle traffic using Rockingham Road can be satisfied for warrant a) above and almost for warrant b) it is quite unlikely that the volume of pedestrian traffic crossing the road is, or will be, high enough in the near future to satisfy either warrant a) or b).</p> <p>It is noted that there is an existing median treatment in the section of Rockingham Road in the vicinity of the Hamilton Hill Shopping Plaza that provides two crossing points for pedestrians – the first is to the west of Stirling Street and the second location is in front of the shopping centre, providing convenient access to the bus stop on the opposite side of the road. Those median islands, which have been in place for many years, are of a minimum desirable width, being between 1.5 - 1.8 metres wide. However, widening Rockingham Road would be very expensive because it could not be done without relocating some aerial power cables underground which would be very expensive.</p> |

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| | | <p>A footpath/bicycle path at the western edge of Dixon park.</p> <p>As urban infill increases the density in Tolley Court, Riggs way, Showell Street and Healy Road (West) the need for efficient pedestrian and cyclist transport routes increase. A path along the Western Edge of Dixon park would increase pedestrian and cyclist route efficiency and thus increase the potential for people to engage in shopping, utilising the recreation centre and utilising bus services located on Rockingham road near Starling Street. This would also be good for joggers wanting to jog around the length of Dixon park on pavement (If Starling Street is included).</p> <p>Café/Park Combination.</p> <p>Modern lifestyles and increasing affluence have led to an increase in what can be described as the café culture. As density increases and average lot sizes decrease people will increasingly seek destinations to relax outside of their home. A café provides a casual environment whereby people may relax for a half hour or so without the effort of planning required for a picnic. As peoples' lifestyle becomes busier, picnicking declines and thus a café at a Park is a great opportunity for people to relax in a serene environment.</p> <p>Some possible sites where a Café/Park combination could be considered are: Dixon Park, Enright Reserve, and Manning Park. Whether a small plot of land be made available to a commercial developer for this purpose OR whether the structure would be built and owned by the city of Cockburn but leased out to a commercial tenant would need to be determined. However, even one Café/Park combination in Hamilton Hill would boost the vibrancy of the suburb. Examples of this type of Café can be found at Fern Road in Riverton, or the wetlands education centre/ Café combination at the Kent Street Weir in Wilson. Perhaps this sort of combination could work at Manning Park.</p> <p>(second submission received ref: 12/35367)</p> | <p>Noted</p> <p>The construction of a 370 metre long path, preferably a shared path, to link Healy Road to Starling Street, via Ommaney Street, has merit but it is a low priority. This is because the paths on those roads are already connected via a footpath along Hurford Street. The suggested path link was not identified in the City's 2010 Bicycle Network and Footpath Plan, which is the current implementation priority for the City's funding resources for path; and, it is not likely to service a significant demand. However, the need for this path should be reconsidered when the City's Bicycle Network and Footpath Plan is updated in approximately 2014/2015. The submission will be noted on file for this purpose.</p> <p>Noted</p> <p>The consultation undertaken in 2011 with the Hamilton Hill community revealed a demand for community gathering points such as a cafe. The Strategy identifies a site in the Simms Road Reserve with the potential for development of a small cafe and urban garden. The Strategy proposes a feasibility study for the proposal be undertaken within 6mths to 1 year of the Strategy's adoption. In response to the submission the Strategy will be modified to require the Feasibility Study include an examination of alternative park sites for the location of a cafe. A cost benefit analysis will be prepared to compare sites.</p> |

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| | | <p>Please consider the following submissions for consideration:</p> <p>1. Beautification of Clontarf Road. Clontarf Road is a gateway to Hamilton Hill and also a showcase road for the city of Cockburn. It could be defined as the first considerable east west link road corridor for people travelling to and from Fremantle, Cottesloe and further afield and is certainly a street of strategic significance. The street itself is winding, has aspects of ocean views, is predominantly residential, and has some degree of traffic calming in place. This provides the street with some opportunities for some limited median strip tree planting and further verge tree planting. Perhaps the city can consider creating some planter medians in sections of the road and also contact landowners with regards to organising further verge plantings. A Beautification of this street would be not only be pleasant for current and future street residents but would also help attract new residents to the city as the neighbourhood would become more reminiscent of pleasant leafy neighbourhoods such as Nedlands and Claremont or Applecross.</p> <p>2. Modification of Intersection of Forest Road at Stock Road, Western Junctions. The Western Junction of Forest Road and Stock Road is presently under stress in peak demand periods. There is insufficient dual laneway for vehicles travelling from the Hamilton Hill end of Forest Road to accommodate vehicles to turn left onto Stock Road at the Traffic light Junction. Additionally, vehicles travelling north wishing to exit left into Forest Road, out of Stock road are also to some degree impeded from entering the road due to insufficient turning provisions. Increasing urban infill in Hamilton Hill will increase the stress on this intersection and compound the problem here. During busy periods Double light changes to get through this intersection can occur. Increased turning access legs would accommodate more efficient traffic flow particularly those vehicles turning left from Forest Road onto Stock road North bound. Anywhere where traffic flow is improved there is potential to minimise pollution,</p> | <p>Noted</p> <p>Clontarf Road is classified as a Local Distributor road and therefore it is not intended or desired that it would function as an east-west link for regional traffic, as a District Distributor road like Spearwood Avenue is expected to.</p> <p>An effort was made to beautify Clontarf Road in recent years when a number of Magnolia trees were planted in verges but this species is struggling in the environment. These small trees will not provide the type of visual affect that is desired but unfortunately it is not possible to plant larger trees along the northern side of Clontarf Road because of the existence of overhead power cables. This could potentially change when underground power is eventually installed in that part of Hamilton Hill, which is estimated to be 5-10 years away and therefore, should be revisited at that time.</p> <p>Supported</p> <p>The recommended extension of the left-turn lanes at the intersection has merit as that would improve intersection capacity and safety. A preliminary economic analysis indicates that the extension of the short left-turn lanes does achieve a viable Benefit-Cost ratio, as a crash countermeasure and therefore could potentially be funded as a Black Spot Program project.</p> <p>Note that any modifications proposed</p> |

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| | | <p>congestion and ultimately lower the carbon footprint of the city. A submission to main roads to modify this intersection could be of positive benefit to the community.</p> <p>3. Toddler friendly playgrounds/ Increased Provision of Under 4 facilities. Children's playgrounds are of enormous benefit to communities for both children and their parents. The children that have the largest amount of available leisure time to access playgrounds are those children aged between 0 and 4 years of age. However playground equipment in general in Perth and also in the city of Cockburn is geared largely to children in the age group of 4-12. Younger children have reduced faculties of balance and as such are at much greater risk of falling off playground equipment and injuring themselves.</p> <p>A vast majority of playground equipment of the city have sheer drops of over 1 metre high in some sections of the playground, sometimes this is to allow for tubular climbing beams or fire poles, sometimes the utility of the exposed sections of drop are less obvious. A good example of a playground suitable for children under 4, is that found at the eastern edge of the Baker Square park in Hamilton Hill. An example of a dangerous sheer drop for children under 4 is that of the fire pole found at the playground on the northern edge of Dixon Park in Hamilton Hill. Playgrounds with substantial sheer drops reduce the ability for parents to undertake passive surveillance of their children, i.e. it is unwise for parents to sit down in these city reserves if they have a toddler playing on this type of equipment. However the micro playground such as at the eastern edge of Baker square does allow an opportunity for passive surveillance and therefore increases the quality of the experience for parent and child.</p> <p>Obviously it is good to have an adequate supply of play equipment for larger children. This age group does appear to be adequately cared for in the current regime. However perhaps new playground developments could help to bridge the perceived deficiency in Under 4 playground facilities (micro playgrounds). This would encourage mother's groups/ father's groups/ families to have an increased opportunity for picnicking, or social meetups within the community of Hamilton Hill.</p> | <p>for either Stock Road or traffic signal infrastructure will need to have MRWA approval as they are responsible for that road, and would need to be considered in context of any possible changes that could occur if the State Government was to extend Roe Highway to Stock Road.</p> <p>This project proposal will be pursued by the City's Engineering Services as a future Black Spot Program project, in consultation with MRWA.</p> <p>Noted</p> <p>This submission has been forwarded to the Parks Service Unit for their consideration when planning and designing new playgrounds within the City.</p> |

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| | | Thank you, for considering the proposals. | |
| 42 | S Atkinson 9 Bailey Street HAMILTON HILL WA 6163 | First things First. Please get rid of the high voltage tower line that runs across Strode Avenue and Bailey Street. Thank you | Not Supported The high voltage power lines that run through Hamilton Hill are infrastructure under the control of the State Government. These power lines are important to the regional power network and unable to be placed underground. The Strategy does not have the ability to influence a change to such important regional level infrastructure. |
| 43 | Norah Edwards 19 Fulton Street HAMILTON HILL WA 6163 | Support This is all goof start, keep it up Cockburn! | Noted |
| 44 | Wayne Beckett 12 Cutts Street HAMILTON HILL WA 6163 | Support None – I like it Best if the Roe Highway goes through to Stock Road. I would like to see this happen inside 1 year at least before the underground power goes in. Plan enclosed on back of submission form | Noted |
| 45 | John Mitchell 37 Davilak Avenue HAMILTON HILL WA 6163 | Support It looks like a good plan, I hope to see it approved. | Noted |
| 46 | Bruno & Mavis Gosatti 856 Karnup Road SERPENTINE WA 6125 | Support It is good to see that Council is finally starting to work towards improving Hamilton Hill after so many years of neglect, with what is proposed should make the area a more family friendly environment for the future, even though this is long overdue. I look forward to seeing the final result. | Noted |
| 47 | Massimo Giatti 6 Hyam Street HAMILTON HILL WA 6163 | Support I fully support the rezoning and I hope that 21 Greenslade one day will not only be zoned R30/40 but become R40. | Noted |

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| | | In favour of it. | |
| 48 | Lisa & Evan Reeves 11 Churm Street HAMILTON HILL WA 6163 | <p>Support</p> <p>We strongly support the draft proposed residential density plan for Hamilton Hill, including the area R60 zoning affecting our property.</p> <p>One suggestion we would like to make for our area & others close to existing Simms Road shops, is for 'Mixed Use' zoning to be considered. Not at the expense of density but rather in addition to.</p> | <p>Not Supported</p> <p>Churm Street is not considered an appropriate location for commercial development. It is not a highly accessible site and demand for commercial within the area is limited as demonstrated by the conversion of Centre Zoned land for residential purposes along Dodd Street.</p> |
| 49 | Esterina Fletcher 13 Davilak Avenue HAMILTON HILL WA 6163 | <p>Objection</p> <p>The ratepayers meeting did NOT endorse the re-zoning of this area.</p> <p>The proposal to rezone the Davilak Avenue area from R20 to R60/80 is strenuously opposed. We do not wish our or neighbours property to be overshadowed and built out/around with such dense residential development which will of necessity be 2 or 3 storey.</p> <p>Parking problems and congestion will result; even now one party can cause street gridlock. Ad-hoc multi storey developments will destroy our amenity and reduce our property value. Proposal not supported.</p> | <p>Not supported</p> <p>The consultation undertaken in 2011 with the Hamilton Hill community revealed support for higher densities within the area.</p> <p>Overlooking and overshadowing issues are addressed by the Residential Design Codes of WA. The privacy and amenity of the adjoining dwellings will be protected as part of any future development application and approval process.</p> <p>In regard to resident and visitor parking, the Residential Design Codes of WA require the provision of adequate resident and visitor parking on site for all residential development regardless of the density of the development. As such there should not be additional parking pressure on public streets.</p> <p>In regard to the submissioner's concerns about traffic congestion the City has already identified that roads across the City will need to evolve as part of forecast future growth. This work forms part of a current project being</p> |

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| | | | <p>undertaken by the City, in terms of updating the District Traffic Study to 2031.</p> <p>As has occurred in the Phoenix Central Revitalisation Strategy area, development within Hamilton Hill will occur gradually. The density changes proposed in the Hamilton Hill Revitalisation Strategy are expected to result in an additional 800 dwellings by 2032. This means a 32% increase in dwelling numbers within the current study area. The incremental nature of the increase in dwelling numbers and associated increase in traffic allow the City to plan appropriately for the road upgrades required to accommodate this change.</p> <p>Refer to the Council Report for a detailed response to traffic considerations.</p> |
| 50 | <p>Lee Osullivan 174B Forrest Road HAMILTON HILL WA 6163</p> | <p>Objection</p> <p>Just as Hamilton Hill is starting to clean up you guys go and reduce the Lot size to get more cheaper housing, cheaper housing means cheaper people.</p> <p>I do not want to see Hamilton Hill become a cheap suburb. Let's keep large lots to build class housing.</p> <p>I Strongly disagree with the draft proposed residential density plan!!!</p> | <p>Not supported</p> <p>Housing affordability and greater housing choice are both very important issues for Perth's population.</p> <p>In regard to the submission's concern that medium density development will reduce the quality of the housing in Hamilton Hill, this view is not supported. There are many examples of high quality medium and high density housing throughout Cockburn and wider Perth.</p> |
| 51 | <p>Nancy Boswell 20 Ivermey Road HAMILTON HILL WA 6163</p> | <p>Support</p> <p>Looking forward to the approval on the proposal, with thanks Nancy</p> | <p>Noted</p> |

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| 52 | Sally McGann, Department of Indigenous Affairs PO Box 3153 EAST PERTH WA 6892 | <p>Support</p> <p>I write with reference to your letter dated 12 July 2012 regarding the above listed Strategy.</p> <p>The Department of Indigenous Affairs (DIA) has conducted a review of the information submitted within your letter and I can confirm that there are no sites as currently mapped on the Register of Aboriginal Sites within the Strategy area.</p> <p>It is recommended that advice on compliance with <i>Aboriginal Heritage Act, 1972 (AHA)</i> is provided to all parties affected by the proposed Strategy. Early examination of the heritage values of any area will allow for planning to preserve important sites within public open space or similar passive use areas. Additional information on the AHA can be found on the DIA website, under Heritage and Culture. http://www.dia.wa.gov.au/Heritage--Culture/</p> <p>The following is a link to the Due Diligence Guidelines, which parties operating within the Strategy area could use to assess their risk with regard to the AHA: http://www.dia.wa.gov.au/Documents/HeritageCulture/Heritage%20management/AHA Due Diligence Guidelines.pdf?epslanguage=en</p> <p>If you require any further information please contact Sally McGann on 6551 8075 or Sally.McGann@dia.wa.gov.au.</p> | Noted |
| 53 | Sasatorn Jokic 14A Frederick Road HAMILTON HILL WA 6163 | <p>Support</p> <p>Occupier of property this will improve the area and make a more pleasant place to live.</p> <p>The local shopping centre at Simms Road, Hamilton Hill needs an over hall. Higher density around the centre over the past 6 years has improved but the centre look in its surrounds. Now the shopping centre needs updating with modern style improvements.</p> <p>The proposed density plan and centre improvement are a good idea and will definitely revitalise the area as very little has been done in the past</p> | Noted |
| 54 | Peter Jokic 14 Frederick Road HAMILTON HILL WA 6163 | <p>Support</p> <p>I am an owner/occupier close to Hamilton Hill shopping centre for more than 25 years, proposed upgrade would give us the option to develop.</p> <p>We are in full agreement with the draft Hamilton Hill Revitalisation Strategy the City is proposing.</p> <p>The Hamilton Hill shopping centre is overdue for a major upgrade it's old and needs total modernisation.</p> | Noted |

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| | | <p>Higher density living surrounding the shopping centre is a good idea and the rezoning to the plan allow options for local property owners to develop if they wish.</p> <p>New houses in the area will improve the look of existing streetscape in line with the new suburbs</p> | |
| 55 | Cona Mangano 27 Recreation Road HAMILTON HILL WA 6163 | <p>Support</p> <p>We support the revitalisation strategy and would like to have the zoning changed to on our property to either R40 or R6. I would like to minimise the amount of land required for the access road.</p> | Noted |
| 56 | Alice Mattarocchia 7 Wheeler Road HAMILTON HILL WA 6163 | <p>Support</p> <p>The new draft in Hamilton Hill is a great thing and as an owner I hope that it goes through.</p> <p>I as home owner give my 100% support to the Draft it has been a long time coming.</p> | Noted |
| 57 | Jeremy Roberson & Claire Naylor 145 Healy Road HAMILTON HILL WA 6163 | <p>Support</p> <p>We are happy with the proposed changes.</p> | Noted |
| 58 | Djorjie & Radoka Jovic 89 Healy Road HAMILTON HILL WA 6163 | <p>Support</p> <p>We strongly support the rezoning of our property to R30.</p> | Noted |
| 59 | Nat Marks 30 Burr ridge Way HAMILTON HILL WA 6163 | <p>Support</p> <p>I think the proposed plan is a good idea.</p> | Noted |
| 60 | DD & VM Macdonald PO Box 2094 KARDINYA WA 6163 | <p>Support</p> <p>As owners of the above property we would look favourably at the new density plan.</p> <p>This would enable us to subdivide in the future if we so desire.</p> | Noted |
| 61 | Stuart Crake 10 Aberle Street HAMILTON HILL WA 6163 | <p>Support</p> <p>We support the proposed residential density plan.</p> <p>We would like to see the proposed multiple dwellings go through as this will improve the local community and glue Hamilton Hill the face lift it has long needed and to revitalise this suburb with more housing.</p> | Noted |
| 62 | Erin Davey, BP Australia PO Box 2131 Rockingham WA 6168 | <p>BP makes this submission as the owner of two underground pipelines that transport petroleum products from the Kwinana refinery to BP's north Fremantle terminal.</p> | Noted |

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| | | <p>After reviewing the proposed density changes that form part of the City of Cockburn's revitalisation strategy for Hamilton Hill, BP expects that future developments (residential or otherwise) will be configured to avoid relying on BP's easement for access. That is, the City of Cockburn should not approve any developments that require permanent access ways, including but not limited to driveways, footpaths or gardens, that cross BP's easement. In this way, if BP fences off any part of the easement in the future, individual landowners will not have their site access restricted.</p> <p>BP would encourage the City of Cockburn to remind all developers of the 'Dial Before you Dig' system through which BP would raise awareness of the underground pipelines.</p> <p>Please feel free to contact me on 9419 9351 or erin.davey@bp.com if you would like further clarification on any of the above.</p> | |
| 63 | Brett Dunn, Department of Water PO Box 332 Mandurah WA 6210 | <p>Support</p> <p>Thank you for your correspondence dated 13 June 2012. The Department of Water (DoW) has reviewed the proposal and offers the following advice:</p> <p>Urban Water Management The approach outlined in WAPC's <i>Better Urban Water Management</i> (2008) is not intended for infill developments unless there are risks to water resources or adjacent properties. Accordingly, a district water management strategy is not required to support the Hamilton Hill Revitalisation Strategy (HHRS).</p> <p>The HHRS proposes higher density development in some areas, thus consideration to required upgrades of drainage infrastructure will be required.</p> <p>The HHRS identifies drainage as an issue and commits to preparing and implementing a <i>Drainage Strategy</i>. The DoW supports the preparation of <i>Drainage Strategy</i> to inform the increase in development density and will provide input into this process at the City of Cockburn's request.</p> <p>Groundwater The subject area is located within the Cockburn Groundwater Area and Perth Groundwater Area as proclaimed under the <i>Rights in Water and Irrigation Act 1914</i>.</p> <p>Any groundwater abstraction in this proclaimed area for purposes other than domestic and/or stock watering taken from the superficial aquifer is subject to licensing by the Department of Water. The issuing of a groundwater licence is not guaranteed but if issued will contain a number of conditions that are binding upon the licensee.</p> | Noted |

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| | | <p>Please note, a high proportion of groundwater in the Cockburn Groundwater Area is currently allocated, thus there may be limited resources available to new developments. Proposed land uses requiring groundwater should identify and potentially secure fit-for purpose water early in the planning process by consulting with the Licensing Branch at the DoW's Mandurah office on 9550 4222.</p> <p>DEC Issues: It appears that there are Acid Sulphate Soils on the subject land. For this reason, this proposal must be referred to the Land Use Planning section at the Department of Environment and Conservation's Swan Region (C/- Locked Bag 104, Bentley Delivery Centre, WA 6983). If you wish to discuss the above or require any further information, please do not hesitate to contact Patrick Ridley at the Department's Mandurah office on 9550 4222.</p> | |
| 64 | Diana Smith 77 Winterfold Road HAMILTON HILL WA 6163 | <p>Objection</p> <p>Increase of traffic – housing and the general appearance of the neighbourhood.</p> <p>With the diversion of current block sizes to accommodate more homes, issues such as traffic and the retention of mature trees needs to be considered. The affect of increased traffic need to be addressed. Currently in the mornings and afternoons Winterfold Road has traffic jams. Increased development in the area including approved further development by Fremantle Council (e.g Southern Cross) will have an impact on this already developing problem.</p> <p>The Council needs to consider the protection of mature trees in the area. With subdivision of blocks, mature trees are often cut down to fit more building into the block. Trees need to be protected not only for wildlife habitat, but also for the aesthetic of the neighbourhood. The density of housing greatly increases the house factor, e.g increase in air-conditioning house, parties affecting a greater number of household - general privacy issues.</p> <p>Hamilton Hill is an older established neighbourhood and it would be a travesty to see development change it into a building site.</p> | <p>Not Supported</p> <p>In regard to the submissioner's concerns about traffic congestion the City has already identified that roads across the City will need to evolve as part of forecast future growth. This work forms part of a current project being undertaken by the City, in terms of updating the District Traffic Study to 2031.</p> <p>As has occurred in the Phoenix Central Revitalisation Strategy area, development within Hamilton Hill will occur gradually. The density changes proposed in the Hamilton Hill Revitalisation Strategy are expected to result in an additional 800 dwellings by 2032. This means a 32% increase in dwelling numbers within the current study area. The incremental nature of the increase in dwelling numbers and associated increase in traffic allow the City to plan appropriately for the road upgrades required to accommodate this change.</p> |

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| | | | <p>Refer to the Council Report for a detailed response to traffic considerations.</p> <p>Noted</p> <p>Intensification of the land use does at times conflict with protection of mature trees. The Strategy aims to address this issue by recommending the inclusion of new provision within the local planning policy APD58- Residential Design Guidelines which require the provision of trees within the private access ways servicing residential developments with more one dwelling.</p> |
| 65 | Giuseppe Orlando 1 Weatherburn Way KARDINYA WA 6163 | <p>Support</p> <p>I Giuseppe Orlando am in favour of the new subdivision proposed.</p> <p>Very suitable for the area planned, I would give approval to the proposed subdivision.</p> | Noted |
| 66 | Kelsey & Brendan Ceiambazi 17 Dearle Street HAMILTON HILL WA 6163 | <p>Support</p> <p>We were so pleased to see the proposed development to revitalise Hamilton Hill. In particular the Simms Road plan for an overhaul of the shops and addition of Cafes etc. The current shopping centre is untidy and lacks a meeting point or Cafe. Its well needed in this community. More trees, more rubbish bins and footpaths are such a good idea and make a huge difference to the conceived value of the area.</p> <p>We fully support the strategy, with young children we want to see this community improved – to be safer, cleaner, tidier, more tree-lined and with Cafes and modern facilities for residents</p> | Noted |
| 67 | Robin Burnage & Claire Cubis-Edwards 46 Stratton Street HAMILTON HILL WA 6163 | <p>Support</p> <p>We fully support the intent of the proposed revitalisation strategy and the proposed rezoning plan.</p> <p>We believe this increase in density will provided an economic and social benefit to the neighbourhood. The strategy needs to follow this up with streetscape improvements and investment into the suburb providing public services and amenity</p> | Noted |
| 68 | Kathleen M Jefferies 33 Ingram Street HAMILTON HILL WA 6163 • Details to be kept | <p>Don't want to move from this residence as have lived here over 50 years, consequence of my age want to stay here.</p> <p>Would like to see Co-Safe more diligently sound this area.</p> | Noted No resident will need to move from their home as a result of the Strategy. |

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| | confidential | Over the years have had two breaks-ins. Wont to live in peace up heaven. | |
| 69 | Christine Duckham 66 Healy Road HAMILTON HILL WA 6163 | <p>Support</p> <p>Thank you for the opportunity to provide feedback on the Hamilton Hill Revitalisation Strategy.</p> <p>Firstly, I wish to commend the council on taking the initiative to re-vitalise Hamilton Hill.</p> <p>I believe the suburb is changing in many ways due to demographic changes and that the existing amenities do not totally meet the requirements of our “newer” residents.</p> <p>Simms Road</p> <p>I strongly support the re-development of this area and the addition of cafes and restaurants would be welcomed by many. I believe residents of both South Fremantle and Hamilton Hill now actively avoid eating in Fremantle on weekends because of the “crowding out” by tourists. Simms Road cafes and restaurants would prove to be popular for this reason alone.</p> <p>The Post Office is one building that I would like to see re-developed for a different purpose. Local theatre or arts groups would benefit from such a facility.</p> <p>Remnant bushland west of Dixon Park</p> <p>Secondly, I wish to comment on the area west of Dixon Park that is adjacent to the reserved Roe Highway land. This area was according to locals a wetland prior to the nineteen fifties. In wet periods of the year, lakes still form on the surface and water birds frequent this area particularly during the wet periods of the year.</p> <p>The area is well used for recreational purposes and since development is unlikely to occur due to the hazardous materials used for infill, the ideal scenario for residents would be if Landcorp were to relinquish the concept of development and vest the land in perpetuity to the City of Cockburn. The City could then remove the contaminated material and a “Friends of ... group” could revegetate. I note that the Hamilton Hill Residents Survey Results indicate that 46 people indicated that if they could change anything about the character of Hamilton Hill they would improve parks. In addition, 123 people indicated that they would like to see unkempt areas cleaned up. This is one area that is currently not well maintained. Locals like myself regularly clean up the area on daily walks and also remove major rubbish dumped and deposit the rubbish on the verge when the annual collections occur.</p> <p>While many other suburbs in the Cockburn district have reasonable tracts of bushland, Hamilton Hill lacks areas of remnant bushland that are well maintained. Adjacent to</p> | <p>Noted</p> <p>Noted</p> <p>As noted by the respondent, Dixon Park is adjacent to the Roe Hwy Reserve and a large tract of land is owned by LandCorp. This land is not maintained by the City as it is not in our ownership.</p> <p>The future of these two areas is very uncertain at present. The future use and development of the land will not be known until MainRoads WA determines the ultimate nature of the regional road networks, particularly Roe Highway and Cockburn Coast Drive.</p> <p>It is unlikely that either MainRoads WA or LandCorp will enter into discussions with the City of Cockburn on the future development and use of this land until a</p> |

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| | | <p>Hamilton Hill is Clontarf Hill (also owned by Main Roads) and this area links well with the area adjacent to Dixon Park and provides an important habitat for flora and fauna. The area supports remnant Tuart forest as well as limestone heathlands and woodland areas of the relatively uncommon limestone marlock, (<i>Eucalyptus decipiens</i>). This vegetation provides habitat areas, food and nesting resources for bird, mammal and some reptile species. With the panoramic views available from its summit, natural vegetation and animal life, Clontarf Hill lends itself to passive recreational pursuits and the development of passive recreational facilities including bird watching, walk trails, cycle paths, lookout points, picnic areas and other facilities.</p> <p>Regional: With the increasing awareness of the importance of linkages between conservation areas that create 'rivers' of parkland rather than isolated 'islands', Clontarf Hill fulfils an important role as a wildlife as well as recreational corridor. Through Wilson and Hollis Parks and the previous tip site a link is available to the ocean. Likewise through Dixon reserve, Lucius Lake and the southern limestone ridge there is a quiet defined link to Manning Lake and onto the western section of the Beeliar Regional Park and Woodman Reserve.</p> <p>Social: With increasing urban population densities due to the proposed urban infill housing development there is a need to create and preserve as much accessible public open space as possible. Clontarf hill Reserve and the adjacent bushland corridor will help to fill this need in general but also specifically will help to balance the already developed nearby medium to high density housing that has been built on Healy Road, Rockingham Road, Hampton Road, and Clontarf Road.</p> <p>Environmental Management: The current management of the area appears to be restricted to the annual construction of firebreaks by the Main Roads Department. The current state of both Clontarf Hill and the adjacent bushland results from a lack of active management for many years. A major problem is the spread of weeds throughout the area which leads to competition with native species, lack of natural regeneration and frequent grass fires, which compound other problems. Rubbish dumping is common and ranges from garden refuse to household rubbish, tyres and car bodies. Off road vehicles use the firebreaks to access both areas (despite the construction of bollards by Main Roads) and then move into the native vegetation in areas.</p> <p>I would like to see the City of Cockburn in partnership with Main Roads and the City of Fremantle make efforts to protect this important piece of coastal heritage. The combined area (approximately 18 hectares?) is the Kings Park of the south.</p> <p>R20/60 on corner of Healy Rd and Ommanney St</p> | <p>final determination has been made on the future of these roads. However, once the road planning has been confirmed the City should seek to enter a dialogue with LandCorp to ensure community aspirations are achieved for this site. Protecting and enhancing ecological linkages and recreation opportunities should be a key consideration for any future development of this land.</p> <p>Noted</p> <p>Noted</p> <p>Noted</p> <p>The respondents concerns regarding the upkeep of the Roe Highway Reserve are noted. Unfortunately the City has no means of enforcing the upkeep or management of this land by MainRoads WA. The City is also not legally able to undertake works on the land, however, the City recognises the upkeep of this land is a significant issue and will write to MainRoads WA outlining our concerns about the poor maintenance of the Reserve.</p> <p>Not Supported</p> <p>The City notes the respondents wish to</p> |

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| | | <p>The WAPCs target of 47% of the additional dwellings required by 2031 in the Perth and Peel Metropolitan area be delivered through urban infill is logical and I acknowledge that Hamilton Hill is well situated to contribute to the delivery of these infill targets. However, the zoning of R60 for the 66 Healy Rd is not a zoning that we the owners support</p> <p>We moved from Fremantle to 66 Healy Road, Hamilton Hill, 12 years ago. We were attracted to the property because of the “green landscape”. The land supports a wide variety of bird habitat including boobook owls, and red tailed cockatoos. We have installed a number of nest boxes and provided a large number of bird baths to support nesting of various species. Importantly, our garden provides food for cockatoos in the form of large almond trees that are less available with urban infill occurring.</p> <p>Our next door neighbour Shirley (living at number 72 Healy Rd) has a similar desire to conserve the area as a green “oasis”. She has on many occasions been offered large sums of money for her substantial plot of land. On each occasion she has refused due to her desire to see the habitat preserved.</p> <p>My partner is planning retirement in the near future and to this end we are building a single storey eco friendly dwelling that will accommodate wheel chair access (should we need it in the future) and reduce our power costs in our retirement. The plan will be submitted to council in August 2012. Therefore, we see the maximum number of dwellings on our property as 2. Currently we use a large proportion of the land to grow fruit and vegetables.</p> <p>The land we occupy along with the land owned by Shirley is unique in Hamilton Hill. It is an area that provides a certain rural feel that makes it attractive to potential new buyers. I have spoken with new residents in my community who have expressed their enthusiasm for the “feel” of this corner of Hamilton Hill. The green feel of the area is something that would disappear with high density/medium density dwellings.</p> <p>Newmarket Hotel</p> <p>Newmarket Hotel contributes to the local community’s sense of place as a prominent landmark in the area, located at the intersection of two major roads. This is one of the finest treasures in Hamilton Hill, yet deterioration due to the lack of occupation of the premises has been allowed to occur. The gateway to Cockburn proclaims the unkempt nature of Hamilton Hill. The site boasts broken glazing to the sash windows and leadlight rusted and broken gutters and downpipes. The revitalisation strategy should seek to address the issue of restoration of this fine heritage building.</p> <p>I hope that the Hamilton Hill Revitalisation Strategy will provide the basis for good strategic planning in the future.</p> | <p>maintain Lot 66 and 72 Healy Road Hamilton Hill as large land parcels which add to the ‘green feel of the area’. However, the ecological, heritage or character value of the land is not considered significant enough to warrant treating these land parcels differently to the other large land holdings in Hamilton Hill.</p> <p>The Strategy will not require the subdivision and development of the land. The decision to develop land is always the responsibility of the landowner. The City suggests that if the owners of Lot 66 and 72 Healy Road Hamilton Hill wishes to prevent further subdivision of their land, they place a restrictive covenant over the land preventing subdivision. The City’s Environment Service Unit is available to provide initial advice on how to go about placing a restrictive covenant over land for the purpose of conservation.</p> <p>Noted</p> <p>The heritage values of the Newmarket are recognised by its registration on the City’s Local Government Inventory. The City over the last five years has negotiated with various landowners and prospective landowners of the site to achieve respectful redevelopment of the site. As a result of those negotiations, several development applications have been approved, but unfortunately never acted on. The City will continue to actively encourage a sensitive high quality redevelopment of the site.</p> |

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| 70 | | <p>Support</p> <p>I support the Hamilton Hill revitalisation 100%</p> <p>I Andrew Mimmo of 3 Wilken Street Hamilton Hill (file number SM/M/044) and owner occupier of property give my full backing towards the revitalisation strategy in Hamilton Hill. I believe it will modernise and increase the appeal and vibrancy of what is a very lack lustre community at present. This plan will invite new home owners and increase families within the area therefore increasing the liveability of Hamilton Hill. Being a suburb so close to Fremantle it is about time commencement of a transformation began. This in turn will reduce urban sprawl and hopefully entice creativity for this new age of sustainable living.</p> | <p>Noted</p> |
| 71 | <p>Ciaran & Kelly Lavin 19 Heirisson Way NORTH COOGEE WA 6163</p> | <p>Support</p> <p>Hi There we like the plan and the plan to increase property density – more of query, our property is one of only 2 properties on the south side of Ommaney Street zoned R30 rather than R40; what is the reason for this? Is there scope to increase our zoning while the changes are underway?</p> | <p>Noted</p> <p>In the 1990s the Department of Housing redeveloped the homes bounded by Ommaney Street, Carter Street, Stratton Street and Hurford Street. The lots in this area were coded R30 and R40. Much of the housing stock was demolished and redeveloped to these densities. The Strategy has not modified the density coding for this area as it is already been redeveloped to a medium density.</p> |
| 72 | <p>E Gomoich 23 Winterfold Road HAMILTON HILL WA 6163</p> | <p>The road has been marked from Instone Street to the end of my driveway. I will not be able to access my driveway when approaching from Carrington Street (east). House no. 21 will also lose access from Carrington Street and house no.22 will also lose access from Stock Road (west).</p> <p>It worries me should I need an ambulance or Police, how will they gain access to my driveway without wasting time (especially at night) with the island in the way – they always ask for the nearest corner which is Carrington Street, Also I will have trouble backing out to go (east) to Stock Road. (sketch attached)</p> | <p>Not Supported</p> <p>No changes to property access are proposed as part of the Strategy and the concerns appear to have been raised as a result of misinterpreting a line on the map delineating the City's boundary as a median island treatment.</p> |
| 73 | | <p>Support</p> <p>What time frame would we be looking at for eligibility to subdivide if there is overall support for rezoning R-20 properties to R-30. Would it be a 2-3 year wait? Thanks Levi Holden</p> | <p>Noted</p> |
| 74 | | <p>Object</p> <p>There are many instances whereby I support renewal such as the Simms Road</p> | <p>Not Supported</p> <p>In regard to the submissioner's</p> |

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| | | <p>upgrade with gardens and future cafe's. However, I am affected by the proposed population density rezoning going from R30 to R60 for the immediate area near Simms Road and its close surrounds. This would increase inner hub congestion and once quiet streets, would seriously risk becoming arterial roads or 'busy' at the very least.</p> <p>We already have hoons racing up our street creating noise and the density increase would make a very unsafe neighbourhood for the many children in the street with more traffic and people. Locals can still gain by walking a short distance to reap the benefits of the Simms Road upgrade whilst still maintaining their 'personal space' with neighbours if properties are left at R30.</p> <p>Properties beyond this area would benefit from the rezoning density increase as they are further away from the already busy Simms Road precinct and the more density in these areas would serve the businesses at the Simms Road precinct as these people would now venture here for their shopping/socialising instead of going elsewhere.</p> <p>The locals immediately around the Simms Road precinct, including my street, are ALREADY patrons to the area so you don't need to work hard to encourage people in this area to make use of the new upgrade. It is the people beyond you need to lure, and that is the people south/beyond Healy Road.</p> <p>Dont make me be able to hear my neighbours flushing their toilet PLEASE!!! We say NO to density change, but Yes to Simms Road upgrade.</p> | <p>concerns about traffic congestion the City has already identified that roads across the City will need to evolve as part of forecast future growth. This work forms part of a current project being undertaken by the City, in terms of updating the District Traffic Study to 2031.</p> <p>As has occurred in the Phoenix Central Revitalisation Strategy area, development within Hamilton Hill will occur gradually. The density changes proposed in the Hamilton Hill Revitalisation Strategy are expected to result in an additional 800 dwellings by 2032. This means a 32% increase in dwelling numbers within the current study area. The incremental nature of the increase in dwelling numbers and associated increase in traffic allow the City to plan appropriately for the road upgrades required to accommodate this change.</p> <p>Refer to the Council Report for a detailed response to traffic considerations.</p> |
| 75 | | <p>Support</p> <p>My wife and i fully support the revitalisation strategy.</p> | <p>Noted</p> |
| 76 | | <p>Support</p> <p>I agree and fully support the council's revitalisation strategy for Hamilton Hill</p> | <p>Noted</p> |

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| 77 | Chris & Marisa Wallhead 2 Areca Close MUNSTER WA 6164 | <p>Support</p> <p>Although the strategy should improve the overall development potential we are still in a position of having to get other landowners to agree before anything can start as we are in a development area.</p> <p>We intend to develop the land asap, dividing the block into 4 smaller blocks and building 4 houses, each with its own green title. Issues relation to the rear access on Milan Place has so far postponed development by 10 yrs. Getting 100% agreement from all other landowners affect3eed b y the access from Milan Place has so far proven to be impossible.</p> | <p>Noted</p> <p>The submissioner's support for the Strategy and particularly the extension of Millan Place is noted. However, it is recommended that the Strategy be amended to change the Development Area over lots adjacent to Millan Place to a coding of R30/40/60. This is also the recommendation for lots within the Chesham Way Development Area.</p> <p>This modification will mean that Chesham Way and Millan Place will not be extended. Landowners within this new coding will be able to develop without a structure plan and independently of adjoin landowners.</p> <p>This modification was based on the following:</p> <ul style="list-style-type: none"> • A lack of support from landowners within the proposed Development Area; and • The cost of the constructing the road extensions and purchasing land would have made development of the affected land financially unfeasible. |
| 78 | Ana Lawson PO Box 936 FREMANTLE WA 6959 | <p>Support</p> <p>Just a short comment to say that I am fully in favour of the proposed plans.</p> | <p>Noted</p> |
| 79 | Michael Cooper, Department of Education 151 Royal Street EAST PERTH WA 6004 | <p>Support</p> <p>Thank you for your letter dated 27 June 2012 regarding the Hamilton Hill Revitalisation Strategy.</p> <p>The Department of Education has reviewed the document and advises the following:</p> <ul style="list-style-type: none"> • That based upon the additional student yield that may be expected from the increased residential density the existing schools would be able to accommodate the anticipated increase in students. | <p>Noted</p> |

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| | | Therefore the Department advises that it has no objection to the proposed strategy | |
| 80 | | <p>Support</p> <p>We support the draft strategy and believe it is comprehensive and positive. The only objection we have is to the much higher densities around Bakers Square and Enright Reserve. We like the character of both of these reserves, which would be change, we believe for the worse with the densities recommended</p> | <p>Not Supported</p> <p>The proposed dual coding of R30/40 for lots adjacent to POS has a strong planning rationale. The principle that higher densities should be orientated around areas of high amenity so that more people can take advantage of that amenity is well established in WA planning policy.</p> <p>The higher coding of R40 rather than R30, which is the base code proposed for the whole suburb, is subject to the achievement of additional built form criteria. These criteria include ensuring variety in design, height and rooflines and provide opportunity for greater surveillance of the POS.</p> <p>The higher coding of R40 will allow redevelopment of lots to create 3 dwellings rather than 2. This is not considered a significant increase in intensity which would affect the character of the park.</p> |
| 81 | Barry & Beverly Hayes 100 Bridgewater Drive KALLAROO WA 6025 | <p>Support</p> <p>Owners of property, we fully support the proposed revitalisation strategy that would allow our property to be up-coded. This would allow us to subdivide our property to build new dwellings, one of which would serve as our proposed home.</p> | <p>Noted</p> |

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| 82 | John & Susan Bendall 15 Ivermey Road HAMILTON HILL WA 6163 | <p>Objection</p> <p>I wish to state that my husband and I are both strongly opposed to the proposed changes in zoning for our street (from currently R20 to R40) in the draft Hamilton Hill revitalisation strategy. We and others in our street love living on our large blocks – rare earth these days. No amount of money could convince us to carve up our land. With a C class hospital in our street extended some years back the increase in traffic has been a blow to our peace and quiet. Service vehicles and patient visitors park along the roadside every day making it difficult at times to navigate your way out of the Street. To increase density to such a huge degree would create even more traffic problems. When you have multiple dwellings on a block and those houses have visitors where can they park?? On the Street of course.</p> <p>Also if these proposed changes in density go ahead, does that mean our rates will also increase whether or not there are one or four dwellings on the Lot?</p> <p>I have to also ask the question why is my side of the street to be zoned differently to the East side of Ivermey Road.</p> <p>These are just a few of our concerns. We don't want any changes to the current zoning – and so we won't support your proposed Revitalisation Plan for Hamilton Hill.</p> | <p>Not Supported</p> <p>In regard to the submissioner's concerns about traffic congestion the City has already identified that roads across the City will need to evolve as part of forecast future growth. This work forms part of a current project being undertaken by the City, in terms of updating the District Traffic Study to 2031.</p> <p>As has occurred in the Phoenix Central Revitalisation Strategy area, development within Hamilton Hill will occur gradually. The density changes proposed in the Hamilton Hill Revitalisation Strategy are expected to result in an additional 800 dwellings by 2032. This means a 32% increase in dwelling numbers within the current study area. The incremental nature of the increase in dwelling numbers and associated increase in traffic allow the City to plan appropriately for the road upgrades required to accommodate this change.</p> <p>Refer to the Council Report for a detailed response to traffic considerations.</p> <p>The Strategy and any future re-codings of land in Hamilton Hill will not affect rates.</p> <p>The transition between the R40 coding over land in proximity to the Carrington Road public transport route and the base coding of R30 has been draw for along Ivermey Road. As such lots on the eastern side of Ivermey Road are coded R30. There is logic in transitioning the density change at the</p> |

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| | | | <p>rear of a block so that both sides of a road are the same density and therefore similar in character. However, in this case the character change between R30 and R40 was not considered significant enough to require this approach.</p> <p>The Strategy could be amended to transition between Ivermey and Clara Road, however as the respondent is concerned about the R40 coding on the western side of Invermay Road it is not recommended that the Strategy be amended to recode both sides of Ivermey Road to R40.</p> |
| 83 | | <p>Support</p> <p>I would like to have my property zoned to R60 as it is in walking distance from the shopping centre,</p> <p>I am next door to 93 Jean Street and am showing on the plan classed as R30, Could consideration be given to my property</p> | <p>Not Supported</p> <p>The R60 coding lies within a 400m walking distance to the Winterfold Road Centre. The submissioner's respondents property lies outside of this 400m walking distance and therefore has been coded R30.</p> |
| 84 | Rhian & James Moss 32 Redmond Road HAMILTON HILL WA | <p>Objection</p> <p>Strong objection to rezoning and increased density. We brought a property in a quiet are with a few immediate neighbours giving us privacy, quiet, light abundant bird life. The increased density proposed would result in increased noise, loss of privacy & light, increased traffic and decreased security. This would change the characteristics of the area we have invested in chronically.</p> <p>Hamilton Hill has been changing into a safer more family friendly area. We believe the rezoning would lead to a return of anti social behaviour, crime & bad behaviour.</p> | <p>Not Supported</p> <p>The submissioner's concerns regarding overlooking and overshadowing as a result of the density changes are not supported. Overlooking and overshadowing issues are addressed by the Residential Design Codes of WA and as such, the privacy and amenity of the adjoining dwellings will be protected as part of any future development application and approval process.</p> <p>In regard to the submissioner's concerns about traffic congestion the</p> |

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| | | | <p>City has already identified that roads across the City will need to evolve as part of forecast future growth. This work forms part of a current project being undertaken by the City, in terms of updating the District Traffic Study to 2031.</p> <p>As has occurred in the Phoenix Central Revitalisation Strategy area, development within Hamilton Hill will occur gradually. The density changes proposed in the Hamilton Hill Revitalisation Strategy are expected to result in an additional 800 dwellings by 2032. This means a 32% increase in dwelling numbers within the current study area. The incremental nature of the increase in dwelling numbers and associated increase in traffic allow the City to plan appropriately for the road upgrades required to accommodate this change.</p> <p>Refer to the Council Report for a detailed response to traffic considerations.</p> <p>The submissioner's respondents concerns that anti-social behaviour will increase as a result of the density changes is not supported. There City is not aware of a substantiated link between medium density development and crime or anti-social behaviour.</p> |
| 85 | Alexander Holm 69 Healy Road HAMILTON HILL WA 6163 | <p>Support</p> <p>I fully support the draft strategy, urban sprawl is wasteful and expensive to service</p> | Noted |
| 86 | Lara Yeremich 25 Longson Street HAMILTON HILL WA 6163 | <p>As the long-term owner and resident of 25 Longson Street, Hamilton Hill, since 1996, being a property identified within the area of the Hamilton Hill Revitalisation Study, and having received the Draft Proposed Residential Density Plan, I wish to have my voice</p> | <p>Not Supported</p> <p>The submissioner's concern that the intensification of residential land uses</p> |

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| | | <p>heard on the subject of the proposed re-zoning of the area.</p> <p>I fully SUPPORT the increased residential densities proposed by the re-zoning of residential lots adjacent to shopping centres and around public parks, as per those marked within the Draft Proposed Residential Density Plan Fig. 3 indicated as "Residential R30/R40". I believe this targeted re-zoning is sustainable and will improve the amenity of the Hamilton Hill Area.</p> <p>Further to this I feel that blocks opposite parkland <u>could support a higher density</u> of zoning, up to R60. It is only these few blocks, having ready access to expansive areas of parkland within only a few metres of the dwelling, which are able to provide the necessary alternative to the private lawn and garden which will have been inevitably reduced in size by the implementation of the proposed re-zoning. I live in such a block I feel qualified to comment.</p> <p>I DO NOT support the blanket re-zoning of the majority of Hamilton Hill to R30. I do not believe that giving carte blanche approval to "battle axe" the entirety of Hamilton Hill will create desirable community outcomes, and I feel that Hamilton Hill would risk losing its character & heritage, which is broadly based on single dwellings on reasonable block sizes and a refreshing alternative to the tiny blocks already experienced in nearby Fremantle. By selectively rezoning higher density blocks throughout the suburb around the targeted parks, shops, main roads/public transport routes this would be a better way of achieving the higher density and providing more homes without going too far and destroying the charm of the suburb.</p> <p>I DO NOT support the re-zoning to R60 of the broad area centred around the Dodd St shopping precinct. I believe that the proposed area is too large and the density far too high, and the current quality of the shopping area far too poor to allow this to become a pleasant area. This level of density might be achievable if a mix of additional community orientated services were incorporated into the plan, such as a re-vamping it to include a café strip, higher quality boutique shopping facilities and additional public open space, otherwise you run the risk of creating a "slum" area around a currently not very attractive and run-down shopping hub.</p> <p>My major concern is a broad area of unsightly low rise apartment blocks crowding out the comparatively small Dodd Street shopping area, populated with local residents hanging out at the shops because they have no recreational facilities or parklands available to them. It could be acceptable if the size of the proposed R60 zone was reduced to being only immediately opposite the Dodd Street shopping centre (rather than the broad swathe currently proposed), or if the rezoning was reduced in density to say R30/R40.</p> <p>Please feel most welcome to contact me should you require clarification on any point I</p> | <p>will result in a loss of character and heritage is not supported. It is acknowledge that some degree of change in the character of the area will result from the proposed density changes. However, the change in densities proposed by the Strategy is not considered contradictory to maintaining the current character of the area. The redevelopment of lots within the base coding of R30 is likely to involve the retention of the existing dwelling, particularly if they are substantial dwellings. The financial viability of medium density subdivision and redevelopment does not make it attractive to demolish existing dwellings. The retention of existing dwellings as part of future redevelopment will ensure the character of Hamilton Hill is maintained.</p> <p>The submissioner's comments that the Winterfold Centre is not a pleasant shopping area that does not warrant residential densification is not supported by the feedback that came from the community consultation undertaken in 2011 by the City.</p> <p>The submission's concerns that the proposed density changes will crowd out the Winterfold Centre are not supported. The proposed R60 coding is a medium density. The plot ratio controls under the Residential Design Codes of WA limit the bulking bulk of apartment developments and mandate minimum open space requirements. These planning controls will adequately safeguard the character of the Centre.</p> <p>The Strategy will not reduce the area of</p> |

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| | | have made in this response. | public open space within Hamilton Hill and therefore we do not expect an increase in loitering in the Winterfold Centre. |
| 87 | Derek Cross 129 Healy Road HAMILTON HILL WA 6163 | <p>Support</p> <p>As a property owner in the area of proposed redevelopment, I am in favour of the proposed rezoning. I think it brings needed revitalisation to the area.</p> | Noted |
| 88 | Matthew Bailey 11 O'Connell Street HAMILTON HILL WA 6163 | <p>Support</p> <p>I fully support the strategy as it would enable me to subdivide my block if I needed to in the future.</p> | Noted |
| 89 | Andrea Morgan 31 Gorham Way HAMILTON HILL WA 6163 | <p>Proposed continuation of Chesham way through to Quarry Road will possibly force me to get sewer pipes relocated and my contribution to new road. Cost outweighs the benefits.</p> <p>Propose Chesham Way be extended to a cul-de-sac to lot 56 / Lot 11 Dept of Housing to allow future traffic from Dept Housing and C.O.C Lot33/56 and possibly lots 1-36 Southend Road redistribution of traffic.</p> <p>Lot 11 Dept Housing / Lot 33 C.O.C future development to be zoned as grouped dwelling, no more than 2 levels high. Or better still Dept of Housing split land and sell privately...</p> <p>Proposal and developments to be decided and acted upon in reasonable time so as not to affect property values for too long during this time of uncertainty</p> | <p>Supported</p> <p>The submission's concerns regarding the Development Area proposed over Chesham Way and adjacent lots is supported. It is recommended that the Strategy be amended to change the Development Area to a coding of R30/40/60. This will allow people within this coding to develop without a structure plan and independently of adjoining landowners. This will also mean that Chesham Way will not be extended and therefore no contribution from landowners will be required.</p> <p>This modification was based on the following:</p> <ul style="list-style-type: none"> • A lack of support from landowners within the proposed Development Area; and • The cost of constructing the road extensions and purchasing land would have made development of the affected land financially unfeasible. <p>Not Supported</p> <p>The Strategy will not treat the Department of Housings land differently</p> |

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| | | | from privately owned land. There would be no proper planning rationale to do this. |
| 90 | Michael & Agatha Athanasiou 25 Waterside Place MARIBYRNONG VIC | <p>Support</p> <p>As the owners of the property at 49 Stratton Street, Hamilton Hill we welcome the proposed change to R20/60 zoning. If the proposed changes are successful, we intend to develop the property in the future, in conjunction with our neighbours at 51 Stratton Street, to provide multiple dwellings, so that more people can enjoy this location, which is a prime location, given its proximity to Fremantle, Port Coogee and Phoenix.</p> <p>Currently the areas affected by the proposed revitalization are underutilized and tired. We believe that the area, given its location, deserves to be beautified. Improved public and private infrastructure is needed.</p> <p>The rezoning would help achieve this by the construction of some well designed, aesthetically pleasing, higher density housing. We are keen to develop our landholding so to create some nice new homes in the area and support the revitalisation strategy.</p> | Noted |
| 91 | | <p>Support</p> <p>We support the proposed re-zoning and road extensions. We believe this will revitalise the area through modernisation and provide better property values for landowners. We specifically support re-zoning of the DEVELOPMENT AREAS to R40 or R60, and the extension of the Millan Place and Chesham Way.</p> | <p>Noted</p> <p>The submissioner's support for the Strategy and particularly the extension of Millan Place is noted. However, it is recommended that the Strategy be amended to change the Development Area over lots adjacent to Millan Place to a coding of R30/40/60. This is also the recommendation for lots within the Chesham Way Development Area.</p> <p>This modification will mean that Chesham Way and Millan Place will not be extended. Landowners within this new coding will be able to develop without a structure plan and independently of adjoining landowners.</p> <p>This modification was based on the following:</p> <ul style="list-style-type: none"> • A lack of support from landowners within the proposed Development Area; and • The cost of the constructing the road extensions and |

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| | | | <p>purchasing land would have made development of the affected land financially unfeasible.</p> |
| 92 | <p>Catherine and John Douglass 75 Wray Avenue FREMANTLE WA 6160</p> | <p>Support</p> <p>We own a property at 51 Stratton Street, Hamilton Hill, and welcome the proposed change to R20/60 zoning. If the proposed changes are successful, we intend to develop the property in the future, in conjunction with our neighbours at 49 Stratton Street, to provide multiple dwellings.</p> <p>We believe that the area would benefit from some well designed higher density housing. Currently the areas effected by the proposed revitalization are underutilized with an abundance of tired, badly designed housing stock surrounded by poor public amenities but enjoying close proximity to Fremantle. These areas could indeed benefit from improved public and private infrastructure, and we hope that the Town of Cockburn also intends to improve public amenities in line with the proposed increase in population density.</p> <p>We are happy to develop our landholding in a manner that creates well designed, aesthetically pleasing, energy efficient dwellings that will serve their residents well into the future. We would be pleased to discuss this further, and are contactable on 0417 983989 (John) and 0421 520767 (Catherine). Yours sincerely Catherine and John</p> | <p>Noted</p> <p>The submissioner's support for the Strategy and the R20/60 coding over their land is noted. However, it is recommended that the Strategy be amended to change the proposed R20/60 coding over 51 Stratton Street, Hamilton Hill to a coding of R30/40/60. This will provide greater flexibility for landowners when developing their land. The landowner will still be able to develop to the higher coding of R60.</p> <p>The R20/60 coding incentivised development to R60, but prevented a medium density development of a lesser density i.e. R30 or R40. The draft Strategy also proposed very strict criteria for development at the density of R60. The Strategy now proposes a gradient of density options from R30 to R60 with additional development criteria as the density increases. Refer to Section 6.1.6 of the Final Strategy for the proposed development criteria for the R30/40/60 dual coding.</p> |
| 93 | <p>Francesco & Rosa Schepis 35 Recreation Road HAMILTON HILL WA 6163</p> | <p>Strategic Planning Hamilton Hill Revitalisation Millan Place</p> <p>We are sending in our views on the Revitalisation of our area in Hamilton Hill. My wife and I are foundation members of Cockburn, the well respected seniors of this good town. We attended the meeting on Tuesday 14th August 2012 at the council. It was wonderful to see our Mayor in attendance, as we have seen regularly at different functions within Cockburn. We are very happy here in Recreation Road, our dwelling has been a mostly safe place to bring up our children and now have our grandchildren come to.</p> | <p>Noted</p> <p>The submissioner's concerns regarding the R20/60 coding are noted. It is recommended that the Strategy be amended to change the proposed R20/60 coding to a coding of R30/40/60. This new coding will allow a gradient of densities from R30 to R60 with additional development criteria as the density increases. This will provide a greater mix of densities on the ground</p> |

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| | | <p>Over the years we have seen good changes, nice open spaces, parks, improvement to roads and footpaths. We are close to the improved Memorial Hall, we were lucky to have good traffic improvements put in place, on Hamilton Road helping to take the heavy traffic and noise away from us. We know the council has and is doing good work in this area. We know as we get older and still remain living on large blocks that the rezoning is a good benefit for us all. Tradition needs to change as do our children and our lives, but we strongly disagree to the prescribed change that has been proposed for our immediate area. Most owners of these large blocks no longer live here, so all they can see is financial gain, developing, selling and moving on. What about the ones those chose, and have chosen to live in a nice neighborhood for so many years.</p> <p>We want to know our grandchildren can come and play around the house, ride their skateboards, bikes, scooters, even walk together down the street to all the wonderful areas the council has constructed for us and to be able to do this safely. We don't believe this area can withhold the very small block sizes you have prescribed. The high density will be a nightmare in this area. Yes lower the size to R40, were you are still allowing some area for greenery, beautification, parking cars, give people breathing space. Give us breathing space! I to can benefit from the R60, but to us this is not the right direction, to keep this area and community safe and advancing.</p> <p>One of my children are planning to build a lovely new home in this area, and I know the revitalization will see more beautiful homes improving this area, but let's improve not over monopolize in this area. I would like you to take the time to ask our Mayor logan Howlett and yourself, would you like this in your street? Is this high density housing really required? Yes let's increase the dwellings, but keep it reasonable for the safety of us all.</p> <p>I hope you can take into account not only the financial gain of some in this move, but the loss of the real owners of this land, who live and breathe here and have done so for many, many years, I hope you can see the worry and concern we have in our close community. let's improve but not at the loss of what good things we have.</p> | <p>which will allow for the maintenance of the 'greenery and breathing space' the submissioner wishes to maintain.</p> |
| 94 | Rob & Joan Hosking 11 Hamilton Road HAMILTON HILL WA 6163 | <p>I am writing to you after having come to the information session on Tuesday 14 August 2012. Firstly thank you for the session it was interesting to hear what is being planned for our area. I have lived within the block of the Millan Place area for approximately 38 years. My husband and I purchased the house next door to where I grow up 16 years ago, were we live with our young sons.</p> <p>We are happy to see some great improvements the council has done over the last approximately 5 years. We are know in the process of having some plans being submitted to the council, where we are proposing to demolition our existing home to re-build a more modern and functional home for our family. We have chosen to stay in this area, as we can see great things happening around us, the improvement in</p> | <p>Noted The submissioner's concerns regarding the R20/60 coding are noted. It is recommended that the Strategy be amended to change the proposed R20/60 coding to a coding of R30/40/60. This new coding will allow a gradient of densities from R30 to R60 with additional development criteria as the density increases. This will provide a greater mix of densities on the ground which will allow for the maintenance of</p> |

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| | | <p>facilities, our lovely Manning Park, great ovals like Davilak, the improvement of the Memorial Hall. We believe the revitalization program is needed. We have large blocks, which do require high maintenance. We are proposing to build to one side allowing room for the new legislation of smaller blocks. Our concern now is the fact that the Revitalization program is calling for a drop to R20 allowing owners to build on 180sqm. Is this what we want? No we believe we need new sizing but R20 is too small.</p> <p>Allowing the R20 will mean up to 10 new dwellings on each block. We know all 4 blocks down our street numbers 25 to 31 Recreation Road on the development side, I want to redevelop, allowing 40 new dwellings in our street, within a few meters. This is a major concern for us. This can reduce the value of our land as we propose to invest a lot of money in our home. Safety II Has anyone done the valuation of the increase of approximately 80 cars in this street and with that possibly more children, who will live in dwellings with no back or front yard, their only play area will be outside on common driveways and footpaths! This is a huge safety factor with traffic. We already deal with cars that speed up and down and know you propose to add so much more traffic within a small area. I fear for my children playing outside now, it is great to have the ovals and parks, but how will we be able to allow our children to walk down the street, when it will resemble a freeway, if this is allowed. We do not want to stop progress but strongly agree that R20 is too small and R40 would be a much more acceptable plan for your revitalization. Where will all visitors park as there will be no room on these small blocks. On our street, on the footpath, up the road this will cause us nothing but problems and neighbourhood disputes, Has this been taken into account. We too own property within this block and can't see why dwellings being so small can benefit the community, other than benefiting a few private owners and causing stress us nothing but problems and neighbourhood disputes, Has this been taken into account. We too own property within this block and can't see why dwellings being so small can benefit the community, other than benefiting a few private owners and causing stress for the community. The corner block on Recreation Road & Strode Avenue was developed and the greedy owner sold them off to Homes West. We are concerned about the value of our land falling further with this R60 proposal. Would you agree to this in your block, where you live?</p> <p>We are happy to consider a R40 revitalisation plan to go ahead, but we want the council to act on withholding a high standard of development. Height restrictions should not exceed the two stories that is in place now and they should be very, very stringent regulations to any proposed development. This will safeguard the value of our homes and new homes being built in the area. We hope you will look at all the views and the homeowners who dwell here now are respected. We live here! The developers are just wanting to make money, with no outlook to the future of this community other than their own profits. Many thanks for taking in account our views. Awaiting your response.</p> | <p>the 'greenery and breathing space' the submissioner wishes to maintain.</p> <p>In regard to the submissioner's concerns about traffic congestion the City has already identified that roads across the City will need to evolve as part of forecast future growth. This work forms part of a current project being undertaken by the City, in terms of updating the District Traffic Study to 2031.</p> <p>As has occurred in the Phoenix Central Revitalisation Strategy area, development within Hamilton Hill will occur gradually. The density changes proposed in the Hamilton Hill Revitalisation Strategy are expected to result in an additional 800 dwellings by 2032. This means a 32% increase in dwelling numbers within the current study area. The incremental nature of the increase in dwelling numbers and associated increase in traffic allow the City to plan appropriately for the road upgrades required to accommodate this change.</p> <p>Refer to the Council Report for a detailed response to traffic considerations.</p> <p>In regard to resident and visitor parking, the Residential Design Codes of WA require the provision of adequate resident and visitor parking on site for all residential development regardless of the density of the development. As such there should not be additional parking pressure on public streets.</p> |

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| 95 | Jennifer Meyers-Sluggett 21 Burrige Way HAMILTON HILL WA 6163 | <p>"Creating a Community Hub" A COMMUNITY HUB IN HAMILTON HILL:</p> <p>INAPPROPRIATE TO SET UP CAFE / PLAYGROUND ON VERGE / CARPARK.</p> <ol style="list-style-type: none"> 1) This is not a meet and browse shopping precinct like Phoenix, Fremantle, Booragoon. It is "on the way home" or "getting the food" type of centre. 2) Locating a cafe here would not have a relaxing & enjoyable ambience. 3) VERY inappropriate to have children playing in an area surrounded by moving vehicles. <p>PLEASE NOTE I use this shopping area for 90% of my food shopping – it is an excellent precinct except for the appalling "lay out" design. It would be beneficial to get accurate traffic data. It must be acknowledged how many very elderly drivers use this centre.</p> <p>ALTERNATIVE SUGGESTIONS FOR HUB</p> <ol style="list-style-type: none"> 1) Cnr Hillier/Redmond Road, Hamilton Hill (where infant health care centre was located) Purpose built, small solar passive design building for small group meetings (mothers groups, yoga classes, community meetings etc) and including cafe and car parking. 2) Use of East Hamilton Hill Primary School canteen on weekends This is working on the future principal of increasing independence of schools and the use of schools as community assets. Existing assets on this site: <ul style="list-style-type: none"> - Car parking - Play ground equipment - Basketball court - Dog friendly space - Open green space <p><i>PLEASE FIND ATTACHED PLAN & MODIFIED STREET & CAR PARK PLAN</i></p> | <p>Noted The Strategy proposes to undertake a feasibility study into the Simms Road Cafe/Garden proposal. The feasibility study will examine detailed design issues such as traffic management and garden design. The submissioner's concerns about safety and traffic will be considered as part of the feasibility study.</p> <p>The consultation undertaken in 2011 with the Hamilton Hill community revealed a demand for community gathering points within the existing centres. As acknowledged by the submissioner these centres are well used by local residents. There are obvious advantages to locating a new community gathering point within these centres; increased convenience, reduction of vehicle dependence and greater potential for a new cafe. However, responding to submissions, the Strategy will be modified to require the Feasibility Study to include an examination of alternative park sites for the location of a cafe. A cost benefit analysis will be prepared to compare sites.</p> |
| 96 | Cindy Tedeschi & Michael Parker 30 Ingram Street HAMILTON HILL WA 6163 | <p>Support</p> <p>We support most of the draft Strategy but have concerns regarding multiple dwellings & higher density around parks like Enright Reserve and Baker Square. Issues of noise, busier roads and loss of privacy, loss of light due to double and triple storey housing to make up for smaller blocks all impact on existing owners and dwellings and lifestyle. We chose to live in Hamilton Hill for the bigger blocks and space. We do not wish to turn into another Palmyra for that matter over crowded Subiaco. I am also concerned about the number of state housing in the area, particularly around the parks. Increase / change zoning and state housing puts up 4-6 dwellings on one block instead of two or current one. I am also concerned about Councils move to Cockburn Central.</p> | <p>Not Supported The submissioner's concerns regarding the loss of character and amenity on the R30/40 lots adjacent to Enright Reserve and Baker Square are not supported. The proposed dual coding of R30/40 for lots adjacent to POS has a strong planning rationale. The principle that higher densities should be orientated around areas of high amenity so that more people can take advantage of that amenity is well</p> |

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| | | <p>The youth centre is at Cockburn Central, existing residents of Hamilton Hill have to travel to access these facilities.</p> <p>What will become of Spearwood when our centre moves to Cockburn Cenral. What will you replace it with? There has to be more to suburbs than just shopping centres and McDonalds / Fast food outlets.</p> | <p>established in WA planning policy.</p> <p>The higher coding of R40 rather than R30, which is the base code proposed for the whole suburb, is subject to the achievement of additional built form criteria. These criteria are included to ensure variety in design, height and rooflines and provide opportunity for greater surveillance of POS.</p> <p>The higher coding of R40 will allow redevelopment of lots, creating 3 dwellings on lots rather than 2. This is not considered a significant increase in intensity, therefore not having a significant affect the character of the park.</p> |
| 97 | | <p>Objection</p> <p>Ivermey Road is a small Street and already there has been an impact of having just one extra house built behind existing homes, without another 2-3 per block. Parking is a big issue and a number of people park on the footpath. The nursing home creates a lot of traffic at certain times – food deliveries, linen trucks, doctors, ambulance, staff and visitor cars. There is not enough parking so the resident's verges are used. Also the trucks create extra noise most families have 2 cars and some have caravans and boats. With multiple dwellings our street will just become one long parking bay and a danger for the residents.</p> <p>Staff and visitors to the nursing home often use footpath to take patients for walks, often in wheelchairs. Parking on the footpath will only get worse and as it not monitored now I cannot see that changing in the future.</p> | <p>Not Supported</p> <p>In regard to the submissioner's concerns about traffic congestion the City has already identified that roads across the City will need to evolve as part of forecast future growth. This work forms part of a current project being undertaken by the City, in terms of updating the District Traffic Study to 2031.</p> <p>As has occurred in the Phoenix Central Revitalisation Strategy area, development within Hamilton Hill will occur gradually. The density changes proposed in the Hamilton Hill Revitalisation Strategy are expected to result in an additional 800 dwellings by 2032. This means a 32% increase in dwelling numbers within the current study area. The incremental nature of the increase in dwelling numbers and associated increase in traffic allow the City to plan appropriately for the road</p> |

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| | | | <p>upgrades required to accommodate this change.</p> <p>Refer to the Council Report for a detailed response to traffic considerations.</p> <p>In regard to resident and visitor parking, the Residential Design Codes of WA require the provision of adequate resident and visitor parking on site for all residential development, regardless of the density of the development. Therefore, there should be additional parking pressure on public streets.</p> |
| 98 | <p>Jean Parry 6 Ralston St HAMILTON HILL WA 6163</p> | <p>Support</p> <p>I believe that the R30/40 zonings could be implemented very well in these two streets Ralston St and Purvis St, enhanced by good design, treed verges and attractive streetscapes.</p> <p>Retaining existing trees in the area and improving streetscapes in general with trees and bushes and mulching on verges, could make an attractive entry to East Hamilton Hill.</p> <p>Terrace houses and loft houses close to the street could enhance the mix to comply with the R30/40 requirements.</p> <p>I support the rezoning proposals in my area.</p> <p>I also support the artists impression proposal of a cafe/meeting place at the Simms Rd shopping centre Hamilton Hill, displayed in the August 2012 Cockburn Soundings Design for climate and environment could turn Hamilton Hill into an oasis on the doorstep of Fremantle.</p> | <p>Noted</p> |
| 99 | <p>Chris Valentine, State Heritage Office PO Box 7479 Cloisters Square WA 6850</p> | <p>Support</p> <p>Thank you for your correspondence received on 13 July 2012 regarding the proposed Draft Hamilton Hill Revitalisation Strategy. The following comments are made on behalf of the State Heritage Office:</p> <p>1. The Draft Strategy provides a comprehensive overview of the heritage context in the study area in terms of places of local and state significance. The State Heritage Office is supportive of the level of recognition provided to heritage places in the</p> | <p>Noted</p> |

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| | | <p>Strategy.</p> <p>2. Any possible impacts upon places of state cultural heritage significance would be assessed at the time a subdivision or development referral is received.</p> <p>The comments made in this letter are not statutory advice and are provided only to assist the determining authority in its decision. Should you have any queries regarding this matter please contact Chris Valentine on 6552 4135. Or at chris.valentine@stateheritage.wa.gov.au.</p> | |
| 100 | | <p>Object</p> <p>Extra dwellings along both sides of Carrington Street will cause further problems with the traffic and parking. At the moment there are only a two new homes built behind existing houses on our side of the street and there are already issues with parking.</p> <p>The verges have become parking bays which inhibits the view of the traffic which is busy most of the time. Even though there is one bus service in Carrington Street most people will own cars, usually 2 per home, especially couples and families. Multiply them by 3-4 dwellings per block and factor in visitor cars and an already busy road and the picture is not a desirable place to live.</p> | <p>Not Supported</p> <p>In regard to the submissioner's concerns about traffic congestion the City has already identified that roads across the City will need to evolve as part of forecast future growth. This work forms part of a current project being undertaken by the City, in terms of updating the District Traffic Study to 2031.</p> <p>As has occurred in the Phoenix Central Revitalisation Strategy area, development within Hamilton Hill will occur gradually. The density changes proposed in the Hamilton Hill Revitalisation Strategy are expected to result in an additional 800 dwellings by 2032. This means a 32% increase in dwelling numbers within the current study area. The incremental nature of the increase in dwelling numbers and associated increase in traffic allow the City to plan appropriately for the road upgrades required to accommodate this change.</p> <p>Refer to the Council Report for a detailed response to traffic considerations.</p> <p>In regard to parking concerns, the Residential Design Codes of WA require the provision of resident and</p> |

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| | | | visitor parking on site for all residential development, regardless of the density of the development. As such there should be no additional parking pressure on public streets as a result of the density changes. |
| 101 | Fluer Hole PO Box 45 WILLETON WA 6955 | <p>Support</p> <p>Support rezoning completely, suburb is in need of revitalisation particularly given its close proximity to the ocean and Fremantle to improve quality of housing, facilities & demographics that are interested in living in the area.</p> <p>Please minimise amount of "Government" funded housing as there is already too much in Hamilton Hill and avoid grouping them all together, makes for small pockets of "slums" e.g Spiller Street.</p> | Noted |
| 102 | Paul Davies 98 Rockingham Road HAMILTON HILL WA 6163 | <p>Support</p> <p>I fully support the revitalisation strategy & plan</p> | Noted |
| 103 | Khalin Driver 5 Ommanney Street HAMILTON HILL WA 6163 | <ul style="list-style-type: none"> • I think the location of R60 & R40 increases look fine and appropriately placed. • I think the change from R20 to R30 for majority of my suburb is okay if it encourages people to build granny flats / town houses behind original house, but a real; shame if it means the old homes on large blocks go to be replaced by ugly flats. This suburb already has a large share of low income/ Homes west type accommodation and to maintain a healthy crime free community where i want to live, this needs to be balanced by young prop. Families continuing to build interesting properties in this lovely area near South Beach. E.g Ommanney Street facing Dixon Park and the area around Bakers Square should be allowed to build granny flats but not replace houses on blocks with blocks of flats/grouped units (ie R20/25 not R30/40). • I'm concerned regarding grey "development area" and Roe Highway Reserve. Why is it cutting into Dixon Park? What does this mean? If you are increasing density/traffic why not give back to us in the form of work on urban bushland/park access running between Manning Lake and sand dunes facing Cockburn Road up to Rockingham Road and across to Clontarf Hill via Dixon Park? Bike paths etc. Why is this recreational possibility ignored (and locked off)? | <p>Noted</p> <p>The redevelopment of lots within the R30 coding is likely to involve the retention of the existing dwelling, particularly if they are substantial dwellings. The financial viability of medium density subdivision and redevelopment does not make it practical to demolish the existing dwellings.</p> <p>The Development Area shown adjacent to the Roe Highway Reserve does not cut into Dixon Park. This site is owned by LandCorp and is currently zoned Residential.</p> <p>Development Areas under Town Planning Scheme No.3 ("TPS3") require a structure plan to be prepared prior to subdivision or development approval. Structure planning will designate land uses (generally residential), densities and POS (where appropriate/required).</p> |

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| | | | <p>The Development Area zoning reflects the City's preference that the development of the land not proceed until a resolution is determined on the future of the Roe Highway Reserve. The City is not supportive of the Roe Highway extension west of Kwinana Freeway. As such if this reservation is ultimately removed through the Hamilton Hill precinct and made available for development, there could be a variety of urban infill and open space scenarios to result. The Development Area aids the City in order to ensure a coordinated approach to the planning and development of the site.</p> |
| 104 | <p>Amanda Heptinstall 21 Helen Street HAMILTON HILL WA 6163</p> | <p>Objection</p> <p>Where I live, the proposed density changes will mean properties would be changed from R20 to R60. This would impact negatively on me and I am opposed to these changes. For the size block near me (is including my own) this has the potential for it to change from 1 dwelling per block to 4 per block. This would impact significantly on my way of life. I chose to purchase a property in this area because of the good quality of life afforded by the large blocks, having previously lived in a higher density area in Beaconsfield. Living in an area of larger blocks gives the following benefits: Environmental (increased trees and natural habitat), health (more chances for physical exercise) and quality of life (not having neighbours houses looking over me/less traffic congestion and other issues associated with increasing populations). I believe the proposed changes will impact upon these benefits in a negative way.</p> | <p>Not Supported</p> <p>In regard to the environmental concerns raised in the submission, intensification of the land use can at times conflict with protection of mature trees which on a broader scale provide a habitat for fauna. The Strategy aims to address this issue by recommending the inclusion of new provision within the local planning policy APD58- Residential Design Guidelines which require the provision of trees within private access ways servicing residential developments with more one dwelling.</p> <p>In regard to the public health issues raised, the City does not believe the density changes will negatively affect the health of residents or the ability of residents to exercise. With regards to the quality of life concerns raised in the submission, overlooking concerns and</p> |

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| | | | <p>traffic congestion are considerations addressed by the Residential Design Codes of WA and the privacy of adjoining landowners will be protected as part of any future development approval.</p> <p>In regard to the submissioner's concerns about traffic congestion the City has already identified that roads across the City will need to evolve as part of forecast future growth. This work forms part of a current project being undertaken by the City, in terms of updating the District Traffic Study to 2031.</p> <p>As has occurred in the Phoenix Central Revitalisation Strategy area, development within Hamilton Hill will occur gradually. The density changes proposed in the Hamilton Hill Revitalisation Strategy are expected to result in an additional 800 dwellings by 2032. This means a 32% increase in dwelling numbers within the current study area. The incremental nature of the increase in dwelling numbers and associated increase in traffic allow the City to plan appropriately for the road upgrades required to accommodate this change.</p> <p>Refer to the Council Report for a detailed response to traffic considerations.</p> |
| 105 | Marianne Mangano 114 Winfield Street HAMILTON HILL WA 6163 | <ul style="list-style-type: none"> • Portion of land will be taken for extension of Road – This will restrict meterage for building requirements. • As a Cul-de-sac is at one end of the property a Road through property is not required. • A Lane way is cheaper to access from Davilak Avenue and regardless of Road | <p>Noted</p> <p>The submissioner's is notified that it is recommended that the Strategy be amended to change the Development Area over lots adjacent to Millan Place</p> |

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| | | <p>being extended off Chesham Way, Lane way is still required to access houses.</p> <ul style="list-style-type: none"> • Built up traffic will be the result of developments. • No control of Department of Housing development. • Therefore it is in our best interest for the Road not to be developed. | <p>and Chesham Way to a coding of R30/40/60.</p> <p>This modification will mean that Chesham Way and Millan Place will not be extended. Landowners within this new coding will be able to develop without a structure plan and independently of adjoining landowners.</p> <p>This modification was based on the following:</p> <ul style="list-style-type: none"> • A lack of support from landowners within the proposed Development Area; and • The cost of constructing the road extensions and purchasing land would have made development of the affected land financially unfeasible. <p>Not Supported The Strategy will not treat the Department of Housing's land differently from privately owned land. There would be no proper planning rationale to support this,</p> |
| 106 | Anthony Mangano 114 Winfield Street HAMILTON HILL WA 6163 | <ul style="list-style-type: none"> • Portion of land will be taken for extension of Road – This will restrict meterage for building requirements. • As a Cul-de-sac is at one end of the property a Road through property is not required. • A Lane way is cheaper to access from Davilak Avenue and regardless of Road being extended off Chesham Way, Lane way is still required to access houses. • Built up traffic will be the result of developments. • No control of Department of Housing development. • Therefore it is in our best interest for the Road not to be developed. | <p>Noted The Strategy has been amended to change the Development Area to a coding of R30/40/60. This will allow people within this coding to develop without a structure plan and independently of adjoin landowners. Chesham Way will not be extended and therefore no contribution from landowners will be required.</p> |

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| 107 | Tony and Meg Watson 31 Wolsely Road EAST FREMANTLE WA 6158 | <p>Support</p> <p>The City is congratulated on the Strategy for Hamilton Hill and the contribution the adopted project will make in reducing the footprint of the metropolitan area in accordance with the objectives and requirements of Directions 2031. The draft codings contained in the Strategy will provide a catalyst for new development that will assist the meeting of the objectives for the location, including:</p> <ul style="list-style-type: none"> • Redevelopment of existing blighted housing stock; • Development at higher densities, providing increased housing variety (and ideally affordability); • An increase in population, supporting the maturation of local activity centres; and • A strong response to the public domain for the purpose of achieving a more engaged outwardly focused local community. <p>With one exception, the draft coding's are well considered and will build on the momentum of development starting to take place in Spearwood. The one concern with the draft coding's is the R20/60 coding shown to apply to a number of larger lots in and around Davilak Reserve and the Roe Highway Reserve on the north side of Rockingham Road.</p> <p>The proposed coding and the parameters to be met providing for development at the higher density are considered unreasonably prohibitive, and for several reasons development at this higher density is considered unlikely. This will impact the well-founded objectives of the Strategy, most notably in the areas of housing diversity and affordability. The reasons for this include:</p> <ul style="list-style-type: none"> • The unlikely prospect that land will be assembled for development at the higher density. Property owners do not typically work together to achieve coordinated outcomes. Individual owners prefer to pursue development alone. If this is not the case, unrealistic expectations regarding property values fail the process. This affects the prospect of a third-party developer looking to participate • The prospect of three (3) lots being assembled to achieve development at the higher density is remote. The development industry continues to derisk post the Global Financial Crisis, with the capital required to undertake larger developments being very difficult to obtain. This has lead to a less than preferred outcome in terms of the development model used by small to mid-size developers; • The preferred development model of small to medium size developers is the sale of 'house and land' packages i.e. single houses or grouped dwellings on land in respect of which subdivision approval exists. This 'de-risks' a development via the sale of tenure prior to developing the built form. Therefore, outside the domain of larger developers in project areas, the development of multiple dwellings in the suburban | <p>Supported</p> <p>The submissioner's concerns regarding the practicality of the R20/60 coding and the possible sterilisation (to redevelopment) of land under this coding are supported. It is recommended that the Strategy be amended in response to these issues.</p> <p>This will provide greater flexibility for landowners when developing their land. The landowner will still be able to develop to the higher coding of R60.</p> <p>The intention of the R20/60 coding was to incentivise development to R60 (rather than a lower density ie R30-40) The R20/60 coding prevented a medium density development of a density lower than R60. The coding also mandated the assembly of large development parcels to promote comprehensive redevelopment.</p> <p>The proposed R20/60 coding included very strict criteria for development at the density of R60, including:</p> <ul style="list-style-type: none"> • Development assembles more than two existing lots; • Total development area is over 2,000m²; • The majority of dwellings (80%) are two storeys or more; • Development achieves 75% of the maximum dwelling yield under R60. • The development should ensure passive surveillance of the access way and adjoining public roads is achieved. <p>The first four of these development criteria were unprecedented within the</p> |

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| | | <p>setting is a marginal prospect. The development of large dwellings on grouped sites will continue to be the most risk-averse form of development. This, however, should not be at the expense of appropriate multiple dwelling solutions at densities somewhere in between R20 and R60 codings;</p> <ul style="list-style-type: none"> • The R20/60 coding amounts to a range of extremes, with R60 development unlikely to occur for the reasons mentioned above, with R20 projects delivering an underdevelopment. This again reflects the need to de-risk development via the sale of tenure (lots) typically larger in size against which banks are prepared to lend (as against built developments in the form of apartments providing greater diversity and affordability of housing stock); and • The incentive, notwithstanding the challenges of developing at the R60 standard referred to above, is further undermined by the fact that single and grouped dwellings at the R20 standard are not limited by a floor area 'cap', unlike the development of multiple dwellings at the R60 standard. <p>It is envisaged, therefore, that if the criteria for development at the R60 standard are not relaxed, or some alternate approach and/or compromise adopted, the areas shown for dual coded development will be sterilised (in respect of development at the higher, or a higher density) and developed to the R20 standard only. It is considered this will result in a largely generic response (via lower density development) viz a viz a village environment which comprises a mix of unique, well design and interesting smaller developments, catering to a diversity of dwelling types (at higher density), sizes and therein affordability.</p> <p>Accordingly, the City is encouraged t review the proposed R20/60 coding and the removal of barriers to development at the higher density for the purpose of ensuring interesting and appropriate village based development occurs at a density greater than R20. A village comprising numerous small and interesting developments as against an environment comprising small villages of the same generic housing forms will contribute significantly more to the character and interest of Hamilton Hill.</p> | <p>City of Cockburn. It is now considered that these criteria were too stringent and would have made development within the proposed coding very difficult.</p> <p>As such it is recommended that the Strategy be amended to replace the R20/60 coding with a R30/40/60 coding. This coding would allow a gradient of density options from R30 to R60 with additional development criteria as the density increases. Importantly the new proposed coding would only require the assembly of land parcels for development under the R60 coding. Refer to Section 6.1.6 of the Final Strategy for the proposed development criteria for the R30/40/60 dual coding.</p> |
| 108 | | <p>Support</p> <p>I fully support the rezoning of the City of Cockburn, in particular the proposed density changes around Enright Reserve in Hamilton Hill. I believe that this suburb has huge development potential, with close proximity to Perth City, Fremantle and to the Ocean. I believe this" up and coming suburb" will gain value in its property prices, as well as providing more potential rates to the council for future development, with the residential rezoning plan.</p> <p>However it must be noted that the astute investor will only be able to maximise his or her investment if the suburbs profile of antisocial public housing tenants are reduced. The issue of antisocial behaviour needs to be properly addressed, and transference of the plethora of public housing properties to the private market is the only assurance</p> | <p>Noted</p> |

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| | | that this can be addressed. | |
| 109 | Tobias Busch & Sajni Gudka 29 Dodd Street HAMILTON HILL WA 6163 | <p>Objection</p> <p>While we have some objections to the strategy, we believe that the City of Cockburn has done a great job in preparing the draft strategy for the revitalisation of Hamilton Hill. Our concerns are in relation to our immediate neighbourhood, which includes the Winterfold/Simms shopping area. We are the owners and residents of 29 Dodd Street.</p> <p>1. Zoning While we fully support the City's intention to increase the density of Hamilton Hill in line with the WAPC's strategic plan to provide infill housing, we are not convinced that the proposed re-zoning of Dodd Street from R20 to R60 will achieve the right outcome. We don't think it will encourage the type of development that this part of Hamilton Hill should aspire to. Over the past 4 years we have seen our neighbourhood become a home of many new young families. Same as us, they have settled into the area and made financial and emotional investments. This has markedly increased the sense of community as well as pride in the area. A zoning of R60 does not encourage this type of trend to continue. Many areas where zoning has been increased have seen investor-led development that is unsuitable for families and aimed at an entirely different, and often transient, population. We do not think that this is the direction this area should be heading in. We do not reject the re-zoning out of hand, however I think the city should consider incentives or policies that ensures that a significant percentage of the development is suitable for families. Many new infill developments in the neighbourhood are already of mediocre design and not attractive or even suitable for families (we refer in particular to the Norfolk Condominium at 102 Forrest Street, as well as several small infill houses along Frederick Street). These developments do not positively enhance the character of the area and any new development in the proposed R60 area should be more aspirational. While it is desirable to ensure a higher density around activity centres, I think it is also important to make sure that it remains an area that a diverse range of people would aspire to live in. Often it is families with a requirement for larger, well designed homes, that are excluded from these areas. As an architect and urban designer, I have been involved in planning urban infill housing in Europe and Australia, and in my experience further incentives than merely changing the R coding are required to achieve a vibrant, active and diverse place.</p> <p>2. Activity Area Winterfold This area is a great asset and offers many opportunities for future development. However I do not think that the proposals outlined in the draft strategy are very inspired. The inclusion of restaurants and café spaces is a good idea, but needs to be better considered than the plan and artist's impression suggest. Here are a few suggestions: - the location of the playground indicated in the artist's impression is not well considered. Surrounded by car parking and so close to Simms</p> | <p>Not Supported</p> <p>The submissioner's concern that the R60 coding around the Winterfold Road Centre would only provide for non-family households and would not fit with the aspirations of the community for family housing is not supported.</p> <p>There is currently a disjuncture between the housing needs of Hamilton Hill residents and the housing stock of the area. The key demographic characteristics and trends for Hamilton Hill are;</p> <ul style="list-style-type: none"> • An aged and aging population. • Small and declining household sizes. <p>The vast majority of housing in Hamilton Hill are single detached dwellings which were design and built to provide for large families. The R60 coding over land in proximity to the Centres will allow for the development of more diverse housing stock which matches more closely the diverse housing needs of the current and future population of Hamilton Hill.</p> <p>On this basis the submissioner's concerns regarding promoting more family size housing is considered inconsistency with the needs and aspirations of the broad mix that makes up the Hamilton Hill community.</p> <p>Noted The Strategy identified an opportunity in</p> |

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| | | <p>Road, this would be unsafe. An alternative location for a potential park and play area already exists behind the centre on Dodd Street. Perhaps the existing centre could be extended in a southerly direction, with access from the car park to the West and a new café with seating areas and access to the park on the East. This would create surveillance of the park and make it an ideal location for a neighbourhood playground and garden. - The development strategy for the shopping centre proposes a narrowing of Simms Street. I don't think the sketch included in the draft document reflects this strategy. Perhaps additional buildings should be located along Simms Street to enhance the streetscape and add a sense of enclosure to what is currently dominated by the car parks on either side of the street.</p> <p>Finally I would suggest that the city consider engaging design professionals that are experienced in urban design and placemaking. The city of Claremont for instance has recently undergone a lengthy consultation process with designers and placemakers prior to starting improving and redeveloping Bayview Terrace and surrounding areas. Other areas are undergoing a similar process. I think this would significantly improve the outcome of this strategy, in particular in relation to the higher density and activity areas.</p> | <p>the extra wide reserve accommodating Simms Road (29m). The Strategy proposes to investigate further the opportunity to utilise more efficiently this space for the purpose of a cafe/garden. The feasibility study will consider in more detail the ability of this site to accommodate the use and the desirability of the proposal in terms of safety, built form and efficient vehicle movement. However, from a preliminary analysis the site (the road reserve) does appear to be able to accommodate the proposed use. In response to the submission and other submissions, the Strategy has been modified to include an investigation of alternative sites. The submissioner's alternative location will be considered as part of this feasibility study.</p> |
| 110 | | <p>Objection</p> <p>I am fervently opposed to the rezoning of the area along Winterfold Road for subdivision due to its negative impact on traffic, amenities and the atmosphere of the community.</p> <p>Higher density housing will only reduce property values and diminish the character of the neighbourhood. The heavy traffic along Winterfold Road at times makes it dangerous to cross not only due to the frequency of vehicles but also the noxious fumes that accumulate in the street. Furthermore, it increases noise pollution in the area. The added stress on the sewerage system is a real cause of concern for my neighbours and I.</p> | <p>Not Supported</p> <p>In regard to the submissioner's concerns about traffic congestion the City has already identified that roads across the City will need to evolve as part of forecast future growth. This work forms part of a current project being undertaken by the City, in terms of updating the District Traffic Study to 2031.</p> <p>As has occurred in the Phoenix Central Revitalisation Strategy area, development within Hamilton Hill will occur gradually. The density changes proposed in the Hamilton Hill Revitalisation Strategy are expected to result in an additional 800 dwellings by 2032. This means a 32% increase in dwelling numbers within the current study area. The incremental nature of</p> |

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| | | | <p>the increase in dwelling numbers and associated increase in traffic allow the City to plan appropriately for the road upgrades required to accommodate this change.</p> <p>Refer to the Council Report for a detailed response to traffic considerations.</p> <p>The Water Corporation have advised that the sewer system has the capacity to cater for the envisaged population increase.</p> |
| 111 | | <p>Objection</p> <p>I do not want to subdivide as there are too many people on this block (including the tenants at Winterfold House). If more people live here that would risk exceeding the capacity of the sewerage pump.</p> <p>The traffic is extremely heavy at times and with more people it will only get worse. The smell of diesel fumes at the front of the house is sometimes unbearable. As for the revitalisation of Simms Rd, I'm not happy where that is heading with more break-ins) and undesirable people coming here.</p> | <p>Not Supported</p> <p>The Water Corporation have advised that the sewer system has the capacity to cater for the envisaged population increase.</p> <p>In regard to the submissioner's concerns about traffic congestion the City has already identified that roads across the City will need to evolve as part of forecast future growth. This work forms part of a current project being undertaken by the City, in terms of updating the District Traffic Study to 2031.</p> <p>As has occurred in the Phoenix Central Revitalisation Strategy area, development within Hamilton Hill will occur gradually. The density changes proposed in the Hamilton Hill Revitalisation Strategy are expected to result in an additional 800 dwellings by 2032. This means a 32% increase in dwelling numbers within the current study area. The incremental nature of the increase in dwelling numbers and associated increase in traffic allow the</p> |

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| | | | <p>City to plan appropriately for the road upgrades required to accommodate this change.</p> <p>Refer to the Council Report for a detailed response to traffic considerations.</p> |
| 112 | <p>Nandi Chinna 14 Ommanney Street HAMILTON HILL WA 6163</p> | <p>Support</p> <p>Residential density increases in Hamilton Hill should be considered in the context of the green spaces, natural vegetation and habitat trees that exist within the suburb. The area covered in the Draft residential density plan contains many properties with existing large trees which provide habitat and food sources for birds. Of great concern in any density change is the potential for removal of many older trees which would remove much needed food sources and nesting spaces, resulting in a further decline in our already rapidly declining bird numbers. I feel that the city needs to include in its density plans restrictions on the removal of large trees. Many trees are on the borders of properties and the erasure of all vegetation from blocks it not necessary. Tree protection needs to be legislated so that all parties are clear on the rules for tree protection.</p> <p>In order to expand Hamilton Hill's green space and provide open space areas for the increasing populations that higher density housing will bring, the council could pursue the idea of an east -west greenway utilising the land set aside for the Roe 8 and 9 extensions. An east-west linear park greenway with cycle tracks and walk paths through Hamilton Hill would provide a world class green space that would attract residents and visitors alike. This park would also provide contiguous habitat for our unique birds and mammal species. Cockburn's motto is 'Wetlands to Waves'. A greenway park form North Lake to South Beach would make this motto a reality. Best wishes Nandi Chinna.</p> | <p>Noted</p> <p>Intensification of the land does at times conflict with protection of mature trees which on a broad scale provide a habitat for local fauna. The Strategy aims to address this issue by recommending the inclusion of new provision within the local planning policy APD58- Residential Design Guidelines which requires the provision of trees within the private access ways servicing residential developments with more one dwelling.</p> <p>APD58 encourages that landscaping that uses native species that are found in the local area, except where deciduous trees are encouraged for the northern elevation for the purpose of solar passive design.</p> <p>The Strategy also proposes the preparation of a Street Tree Strategy. A key objective of the Strategy will be its contribution to the current ecological assets in the City.</p> |
| 113 | <p>Andrew Stone 6 Michelle Place HAMILTON HILL WA 6163</p> | <p>Support</p> <p>COMMENT A: Please consider the idea of renaming a portion/ portions of Hamilton Hill into different suburbs. Hamilton Hill is already a very populous suburb and is fragmented into very distinct precincts. The most definitive precincts are: 1) The Dixon Park Precinct. North of Rockingham Road, West of Carrington Street and up to the Southern edge of Jean Street. 2) The Manning Park Precinct. North of Phoenix road, and west/South of Rockinham Road. Contains A Commercial Hub Development on</p> | <p>Not Supported</p> <p>There is no standard suburb size, nor is Hamilton Hill considered to be an excessively large or over populated suburb. The renaming of Hamilton Hill is not considered relevant to the Strategy.</p> |

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| | | <p>Rockingham Road. (includes Hamilton Road, as a North South distributor road). 3) The Enright Reserve Precinct . East of Carrington Street, West of Stock Road, South of Winterfold Road, North of Forrest Road. Contains the Winterfold Road Commercial Development. Contains the Hamilton Hill high School Site and the Hamilton Hill/Coolbellup friendship bridge. 4) Southwell/Blackwood Precint. East of Carrington Street and Rockingham Road. South of Forrest Road, North of Phoenix Road. In relation to these 4 precincts please consider the following ideas: i) Once the bulk of the remaining r20 land is rezoned and thus proposed urban infill population is to increase, please consider the idea of having these 4 precincts as 4 Suburbs. Dixon Park Precint could be called - CLONTARF named after its east west distributor and also a coastal town in the UK. Manning Park Precint could be Called - DAVILAK or LAKE MANNING Enright Reserve Precint could remain as HAMILTON HILL, as it contains the most idiosyncratic elements of Hamilton Hill namely the high school and winterfold road commercial/retail hub. Southwell Precinct could be renamed - BLACKWOOD or NORTH PHOENIX or PHOENIX. It would serve the area well for it not to be associated with the name SOUTHWELL which has negative connotations. If this area gets renamed the street address Southwell Crescent could perhaps be retired and replaced with Phoenix Ramble or something more vibrant and revitalised. ii) Alternatively consider Creating two Suburbs; HAMILTON HILL being to the east of Carrington Street and the East (and north) of Rockingham Road. Contained by Phoenix and Winterfold Roads. CLONTARF being West of Carrington Street and West of Rockingham Road. Contained by Jean Street and Phoenix Road. Both of these Suburbs have a commercial/retail hub. The volume of traffic on Carrington street cause a very significant geographical barrier. Due to these factors CLONTARF and HAMILTON HILL would stand a very good chance of being clearly identifiable by people as distinct suburbs. The alternative is to have a huge but fragmented HAMILTON HILL.</p> <p>COMMENT B: Please consider a large scale Verge Tree planting project in Hamilton Hill. As Urban density increases, the risk is the suburb could lose more trees and lose much of its charm. Claremont, Nedlands, Peppermint Grove, Mount Claremont, are some of the most charming suburbs in Perth and this is largely due to their green leafy streetscapes. Once density increases in Hamilton Hill, the ratio of Trees, Grass and Dirt to Concrete could rapidly decrease, creating a problematic micro-climate where heat is retained by the mass of new buildings, access roads and driveways without sufficient offset by trees, grass and dirt. If the council undertakes an initiative to introduce 1 verge tree to every street front address (where feasible), this could help to off-set this issue. In order to keep the balance of the community happy perhaps it could be possible for all landowners to be notified that a verge tree is to be planted during the winter planting season in 2014/2015 But that people may reply in writing and "Opt Out" of the planting on their verge if they feel it would impede their enjoyment of the property. An alternative to a mass planting regime could be to plant out a verge tree on newly subdivided lots, this cost could potentially be re-couped by charging the</p> | <p>Noted The Strategy proposes the preparation of a Street Tree Strategy for the whole of the City of Cockburn.</p> <p>Also, the Strategy recommends the inclusion of new provisions within local planning policy APD58- Residential Design Guidelines which require the provision of trees within the private access ways servicing residential developments with more one dwelling.</p> |

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| | | <p>developer a street tree fee. However if a developer opts to not green their verge, they should not save any money on the street tree fee. (street tree fees collected but not used on a particular site, could be put toward improving plantings in surrounding POS areas.) At this point I wish to express my point of view that increased urban infill is a positive thing for Hamilton Hill, and that it just needs to be coupled with environmental sustainability.</p> <p>COMMENT C: Please contemplate opening up a dialogue with the CITY OF FREMANTLE, WAPC and MAIN ROADS about the possibility of Opening up CLONTARF HILL for recreational enjoyment of the residents of Hamilton Hill and Beaconsfield. This is land of Extreme potential Benefit to the Community and will become even more valuable under an r30 regime in the land immediately west of it. The top of Clontarf Hill has a view that rivals Monument Hill in Fremantle. The trees on the hill add to the sense of enjoyment of this locale. If the WAPC were to purchase even a portion of this land and make it available for public enjoyment, that would be of great benefit. The City of Cockburn is a Stakeholder in this process, as it has the largest number of constituents that would benefit from the opening up of Clontarf Hill.</p> | <p>Not Supported Clontarf Hill lies within the City of Fremantle. The City of Cockburn has no jurisdiction over land within the City of Fremantle. Clontarf Hill is a reserved for recreation under the City of Fremantle Local Planning Scheme No.4. If the submissioner is concerned about the upkeep of the reserve it is recommended that they contact the City of Fremantle to discuss this issue further.</p> |
| 114 | | <p>Support</p> <p>On behalf of the Hamilton Hill Community Group (HHCG), I wish to make a submission specifically addressing the proposed Winterfold Centre concept on Simms Road. We support the Revitalisation Strategy general aims, and more specifically, the attempt to promote a central community hub. We are, however, concerned that the current concept proposes to continue using Simms Road as a vehicular link between Winterfold Road and Dodd Street, and places a children's playground alongside a road and a busy car park. Rather, we would like to see City of Cockburn exploring the possibility of closing Simms Road as a gazetted through road, and using the reclaimed road reserve for a combination of community hub oriented civic uses, with some additional pockets of car parking. Also, in the interests of promoting the precinct as a local community hub, we object to some of the specific retail uses that have previously been permitted which include sex shop, tattoo parlour, and methadone dispensing (within the chemist).</p> | <p>Noted The Strategy proposes to undertake a feasibility study into the Simms Road Cafe/Garden proposal. The feasibility study will examine detailed design issues such as traffic management and garden design. However, the submissioner's recommendation to close Simms Road is not supported because Simms Road is performing an important function of providing convenient and direct access between the local shopping centre and a District Distributor Road, Winterfold Road.</p> <p>Closing Simms Road would transfer an unacceptable volume of traffic onto Dodd Street and Frederick Road which are residential streets. Alternative access to the shops on Simms Road would also be complicated by the left in/left out turn restrictions at the Dodd/Carrington St intersection.</p> |

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| | | | The submissioner's concern about traffic management and safety along Simms Road will be considered as part of the feasibility study. |
| 115 | | <p>Support</p> <p>Please keep my personal details confidential. I feel the Revitalization Strategy for Hamilton Hill is a welcome and long overdue plan for higher density, and therefore more development in the area, which will help to revitalize a beautifully located but tired older suburb and improve amenities for all</p> | Noted |
| 116 | | <p>Objection</p> <p>I categorically do not wish for the zoning around BAKERS SQUARE in Hamilton Hill to be changed or altered in any way. Leave the zoning as it is and back away from our neighbourhoods - an actual real neighbourhood. Where our kids can play at the park and each other's houses safely. Where we know our neighbours and enjoy their company. Where there are not a bunch of cars going up and down the street constantly and we have a sense of community and safety. Keep the zoning as it is - and find a different way to increase your rates base (without increasing our rates - AGAIN!!)</p> | <p>Not Supported</p> <p>In regard to the submissioner's concerns about traffic congestion the City has already identified that roads across the City will need to evolve as part of forecast future growth. This work forms part of a current project being undertaken by the City, in terms of updating the District Traffic Study to 2031.</p> <p>As has occurred in the Phoenix Central Revitalisation Strategy area, development within Hamilton Hill will occur gradually. The density changes proposed in the Hamilton Hill Revitalisation Strategy are expected to result in an additional 800 dwellings by 2032. This means a 32% increase in dwelling numbers within the current study area. The incremental nature of the increase in dwelling numbers and associated increase in traffic allow the City to plan appropriately for the road upgrades required to accommodate this change.</p> <p>Refer to the Council Report for a detailed response to traffic considerations.</p> |

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| | | | The submissioner's concern that the Strategy will reduce the ability for neighbours to know each other is also not supported. |
| 117 | Seisha Fogarty Pryor 60 Ommanney Street HAMILTON HILL WA 6163 | <p>Objection</p> <p>I have never seen such astoundingly lazy town planning. Having worked in Local Government across the metropolitan area it is certainly common for Local Government to look for opportunities to increase their rate base, and increasing zoning is one bland way of achieving this without having to increase rates too significantly. But to increase all zoning across a suburb and then double the zoning around park is truly ridiculous! Bakers Square is a real neighbourhood – a real old fashioned neighbourhood where I know the neighbours, the kids play at each other's houses and we care about what happens to each other. We have like-minded individuals who have solar panels and water tanks and are trying to do their bit by maintaining native trees and plant (not bulldoze them to make way for more houses).</p> <p>That you would try and mess with this successful formula of a community shows you know nothing about Hamilton Hill and disturbingly probably don't care. We love Bakers Square and categorically do not want zoning increased above the current level. This is terrible town planning - don't mess with what isn't broken.</p> | <p>Not Supported</p> <p>The proposed dual coding of R30/40 for lots adjacent to POS has a strong planning rationale. The principle that higher densities should be orientated around areas of high amenity so that more people can take advantage of that amenity is well established in WA planning policy.</p> <p>The higher coding of R40 rather than R30, which is the base code proposed for the whole suburb, is subject to the achievement of additional built form criteria. These criteria ensure variety in design, height and rooflines and provide opportunity for surveillance of the POS.</p> <p>The higher coding of R40 will allow redevelopment of lots so to create 3 dwellings per lot rather than 2. This is not considered a significant increase in intensity which would affect the character of the park.</p> |
| 118 | Garson Fogarty-Pryor 60 Ommanney Street HAMILTON HILL WA 6163 | <p>Objection</p> <p>Please do not change the zoning around my park BAKERS SQUARE and make it possible for more people to build more houses. I get to go to my park every day and it is a quiet street so I can cross the road safely. If you let people build more houses it will mean more traffic which means less safety for me and my brother. I love my park and I do not want to see more houses crowding out the nice trees and ruin all the beautiful native animals that live in the trees. DO NOT INCREASE THE ZONING AROUND BAKERS SQUARE.</p> | <p>Not Supported</p> <p>In regard to the submissioner's concerns about traffic congestion the City has already identified that roads across the City will need to evolve as part of forecast future growth. This work forms part of a current project being undertaken by the City, in terms of updating the District Traffic Study to 2031.</p> |

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| | | | <p>As has occurred in the Phoenix Central Revitalisation Strategy area, development within Hamilton Hill will occur gradually. The density changes proposed in the Hamilton Hill Revitalisation Strategy are expected to result in an additional 800 dwellings by 2032. This means a 32% increase in dwelling numbers within the current study area. The incremental nature of the increase in dwelling numbers and associated increase in traffic allow the City to plan appropriately for the road upgrades required to accommodate this change.</p> <p>Refer to the Council Report for a detailed response to traffic considerations.</p> <p>Noted The submission's concerns regarding the protection of trees for their ecological importance is noted. Intensification of the land does can at times conflict with protection of mature trees which often provide a habitat for local fauna. The Strategy aims to address this issue by recommending the inclusion of new provision within the local planning policy APD58- Residential Design Guidelines which require the provision of trees within the private access ways servicing residential developments with more one dwelling.</p> <p>APD58 encourages that landscaping use locally native species except where deciduous trees are encouraged for the northern elevation for the purpose of solar passive design.</p> |

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| | | | <p>The Strategy also proposes the preparation of a Street Tree Strategy. A key objective of the Strategy will be contribution to the ecological assets of the City.</p> |
| 119 | <p>Brennus Fogarty-Pryor 60 Ommanney Street HAMILTON HILL WA 6163</p> | <p>Objection</p> <p>Please do not change the zoning around my park BAKERS SQUARE and make it possible for more people to build more houses. I get to go to my park every day and it is a quiet street so I can cross the road safely. If you let people build more houses it will mean more traffic which means less safety for me and my brother. I love my park and I do not want to see more houses crowding out the nice trees and ruin all the beautiful native animals that live in the trees. DO NOT INCREASE THE ZONING AROUND BAKERS SQUARE</p> | <p>Not Supported</p> <p>In regard to the submissioner's concerns about traffic congestion the City has already identified that roads across the City will need to evolve as part of forecast future growth. This work forms part of a current project being undertaken by the City, in terms of updating the District Traffic Study to 2031.</p> <p>As has occurred in the Phoenix Central Revitalisation Strategy area, development within Hamilton Hill will occur gradually. The density changes proposed in the Hamilton Hill Revitalisation Strategy are expected to result in an additional 800 dwellings by 2032. This means a 32% increase in dwelling numbers within the current study area. The incremental nature of the increase in dwelling numbers and associated increase in traffic allow the City to plan appropriately for the road upgrades required to accommodate this change.</p> <p>Refer to the Council Report for a detailed response to traffic considerations.</p> <p>Noted</p> <p>The submissioner's concern regarding the protection of trees for their ecological importance is noted. Intensification of the land does at times</p> |

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| | | | <p>conflict with protection of mature trees which at a broader scale provide habitat for fauna. The Strategy aims to address this issue by recommending the inclusion of new provision within local planning policy APD58- Residential Design Guidelines which require the provision of trees within the private access ways servicing residential developments with more one dwelling.</p> <p>APD58 encourages the use of native species, specific to the local area, except where deciduous trees are encouraged for the northern elevation for the purpose of solar passive design.</p> <p>The Strategy also proposes the preparation of a Street Tree Strategy. A key objective of the Strategy will be contribution to the ecological assets of the City.</p> |
| 120 | G & G Santini 203 Clontarf Road HAMILTON HILL WA 6163 | <p>Support</p> <p>We fully support the Revitalisation Strategy.</p> | Noted |
| 121 | Bordino Investments Pty Ltd 205 Clontarf Road HAMILTON HILL WA 6163 | <p>Support</p> <p>We hereby fully support the proposal.</p> | Noted |
| 122 | Estate of Lucia Piscicelli 203 Clontarf Road HAMILTON HILL WA 6163 | <p>Support</p> <p>We fully support the proposed Revitalisation program</p> | Noted |
| 123 | Bordino Investments Pty Ltd 205 Clontarf Road HAMILTON HILL WA 6163 | <p>Support</p> <p>We herby fully support the proposal</p> | Noted |
| 124 | | <p>Support</p> <p>My house is an un-renovated 1940's place, inconveniently sited in the centre f the block. It is a large block with too big a yard for the majority of people to manage. Any renovation would probably be over capitalising.</p> <p>The back fence faces a pleasant park and I believe it would suit R40 zoning, dividing it</p> | Noted |

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| | | <p>to three smaller blocks at a reasonable price for people who could live in a modern place with a compact yard with a very pleasant outlook.</p> <p>Two more residents or even the maximum under R40 on Jakob street altogether would not cause traffic problems, as there are houses only on the one side. I hope the higher density will revive the shopping centre.</p> | |
| 125 | Robert Cotterell 47 Starling Street HAMILTON HILL WA 6163 | <p>Support</p> <p>I'd like to see higher density housing along Forrest Road; this Road has transport and facilities available to cater to a large number of people.</p> <p>If density code was R40 as opposed to r30 it would give property owners an incentive to develop a number of large blocks of land in the area.</p> <p>Many of the homes in the area still contain asbestos homes which are very old and dissipated. It would be much better if there was a incentive for property owners to develop these blocks of land and remove these dangerous homes.</p> <p>I'd like to see more greening of public areas.</p> | <p>Supported</p> <p>The submissioner's request to code land adjacent to Forrest Road as R40 is supported. Forrest Road is a high frequency bus route and therefore meets the location criteria for the R40 coding.</p> <p>Refer to Attachment of 2 of the Council Report.</p> |
| 126 | Steve Phillips, Department of Transport 140 William Street PERTH WA 6000 | <p>Support</p> <p>Thank you for your letter dated 27 June 2012 regarding the Draft Hamilton Hill Revitalisation Strategy (HHRs) and for the opportunity to comment. In principle, the Department of Transport (DoT) supports the strategy but wishes to draw to your attention some of the strategic transport planning issues being considered by DoT in this area.</p> <p>As you are aware, a section of the Roe Highway Primary Regional Road reservation (Stock Road to Cockburn Road) passes through the proposed revitalisation area. The Department of Planning Study report (<i>Road Network Study West of Planned Stock Road I Roe Highway Interchange April 2010</i>) examined several network scenarios to review the adequacy of the existing and planned road network over an area comprising parts of Cities of Fremantle, Melville and Cockburn.</p> <p>While it is unlikely that this section of Roe Highway will be constructed to full grade separated Controlled Access Highway standard in the future, the above traffic study indicated that there is demand and merit in developing a high standard east west connector within this section of the Roe Highway reservation. The appropriate designation for this connector would be Other Regional Road. The study indicates that it reduces the volumes of traffic on other roads over a wider area and better distributes the traffic accessing Fremantle.</p> <p>The HHRA, which is based on increased residential density, will further add to the</p> | <p>Noted</p> |

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| | | <p>need for a high quality east west road within the existing Roe Highway reservation. The existing reservation width would allow for suitable buffers to reduce traffic noise on abutting residences as well as enhanced public transport services within reasonable walking distance for many of the residences.</p> <p>It is recommended that further planning for the HHRs area take into consideration the wider transport planning implications for the area, in particular the concept of developing a high quality east west road within the existing Roe Highway Primary Regional Road reservation between Stock Road and Cockburn Road. This should involve liaison between City of Cockburn, DoT and Main Roads to ensure a strong correlation between the land use and transport planning for the area, including consideration of possible future freight needs.</p> <p>In view of the above, The Department does not object to the proposal provided the issues outlined above are considered. The DoT requests a schedule of submissions to be sent and to be notified when this matter is presented to council. Please feel free to discuss this application with Richard Cullen on 65516093 if you would like to clarify any of the above information.</p> | |
| 127 | Ashis Parajuli, Main Roads Western Australia PO Box 6202 PERTH WA 6892 | <p>Support</p> <p>Thank you for your letter dated 27 June 2012 requesting comments on the Draft Hamilton Hill Revitalisation Strategy. Main Roads has no objection to the proposed revitalisation strategy.</p> <p>Main Roads would like to inform the City that the Department of Planning is currently investigating a district distributor standard road between Stock Road and Cockburn Coast Drive reserve. This district distributor road will generally follow the existing Roe Highway Reserve. For most of the section, it is not likely to have any variation to the land reserved under the MRS for road purposes. However, at the western end of the Roe Highway road reservation, there may be some changes in road reservation to accommodate the proposed district distributor road to connect with the proposed Cockburn Coast Drive and the existing road network.</p> <p>If you require any further information please contact Ashis Parajuli on (08) 9323 4286. In reply please quote file reference 04/11588-07 (D12#264528).</p> | Noted |
| 128 | John Schepis and Antonietta Schepis 61 Castellon Crescent COOGEE, WA 6166 | <p>Support</p> <p>I currently own three 2,000m2 lots on the proposed Recreation Road development area and one property on Redmond Road which I have owned for some 30years. I have lived in Hamilton Hill (on Recreation Road) and Coogee for approximately 40 years and remain a strong advocate of the value of this location as a high worth coastal development and the importance of the "right development plan" for this area to become a focal point for activity in Hamilton Hill.</p> | <p>Noted</p> <p>The Strategy has been amended to change the Millan and Chesham Way Development Area to a coding of R30/40/60. This will allow people within this coding to develop without a structure plan and independently of adjoining landowners. Chesham Way</p> |

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| | | <p>This can only be achieved through co-ordinate development and establishing standards for the development of these sites which leads to a high value area for established residents and proposed developments.</p> <p>The area lends itself to the right mix of development and its position relative to the major transport routes along Carrington Street and Rockingham Road make it a prime focal point for density increase in a manner which is sympathetic to long term residents and which can add value to the land holding.</p> <p>I had attended the information sessions for the Hamilton Hill revitalisation (first session early this year at Memorial Hall) and on the development areas on 14 August 2012. These sessions were very informative and run very well. Feedback was provided at that sessions and in the main repeated here.</p> <p><u>Address of Property Affected by Draft Strategy:</u> The address of properties held by me are as follows:</p> <ol style="list-style-type: none"> 1. Lot 45 Recreation Road (2000m2) – Near top intersection of Recreation Road and Hamilton Road, 2. 24 Strode avenue (2000m2) – Nearest intersection being recreation road and strode avenue intersection, 3. 26 Strode avenue (2000m2) – Adjacent to 24 Strode avenue and in middle of the recreation road and strode avenue intersection and also near to the Strode Avenue and Winfield Street intersection. <p><u>Submission:</u></p> <ol style="list-style-type: none"> 1. <u>The proposal for the Hamilton Hill revitalisation Planning</u> – I believe the proposal for revitalisation is critical to the creation of a lively and attractive area for people to want to live, work and have economic and practical ways of travelling to work> the benchmark being established in new development subdivisions has shifted people's expectations and understanding of what is achievable. 2. <u>Trends in housing expectations</u> – The trends in housing expectations have shifted dramatically and a well-founded approach to development within the study area will support the desire for people to come and participate by wanting to purchase, rent, spend time at strategic activity focal points (commercial areas such as café's and shopping nodes) if these are located strategically and if housing density allows people to locate in the higher denser areas. People expectations on lot size has shifted to smaller lots in the main and this aligns with the populations new lifestyle priorities. The need to accommodate this is clear, however, it needs to be done in a sympathetic manner which recognises the existing residents expectations. 3. <u>Recreation Road Development Area</u> – I make the following points in this | <p>and Millan Place will not be extended and therefore no contribution from landowners will be required. Access to new developments will be via private access ways connecting the existing road network.</p> <p>This modification was based on the following:</p> <ul style="list-style-type: none"> • A lack of support from landowners within the proposed Development Area; and • The cost of constructing the road extensions and purchasing land would have made development of the affected land financially unfeasible. |

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| | | <p>regard;</p> <ol style="list-style-type: none"> a. The development of the extension of Milan Place is critical to systematic and well planned development of this development area. The large lots need to have access from more than one end of the lots to create sound architectural solutions to a higher density development, it also alleviates the traffic pressures which would result on Recreation Road and what would be a less amenable solution to all residents. It was expressed by a number of people at the information session to be important in the proposal for this development area. b. The development of Milan place and the associated servicing of the lots has not been possible in the past and requires the intervention of City of Cockburn in a manner aligned with that proposed in the presentations where it is funded by the city and the developers pay upon exercising their right to develop, (cost being indexed to an agreed formula where the owner develops at a later date. The cost sharing strategy and how it is built up should be the subject of detailed discussion pending acceptance of an overall development plan by the residents. c. The Recreation road development has a proposal for R60, which with Milan Place is believed to be a sustainable plan where Council also imposes some development guidelines associated with this higher density. This should include the need for certain architectural standards and development building restrictions such as two storey over some minimum percentage of units or homes, d. A development density of between R40 to R60 is considered a good mix for the site, however dispensation for land taken to develop the road and the consideration of land appropriated for road construction should be considered in the assessment of unit numbers in the final development planning. <ol style="list-style-type: none"> 4. <u>Timeline and Ongoing engagement</u> – It is important that the City of Cockburn engages on a regular basis and provides written feedback to the affected people within development areas and overall to ensure the actions being undertaken and results of the hard work are shared and people can provide ongoing feedback. The framework of the development as it is envisaged based on the feedback received needs to be summarised in a statement issued once this feedback is received to allow affected people to digest this and understand the information. 5. <u>SUMMARY</u>- I am a strong advocate of the proposed revitalisation strategy for the whole of Hamilton Hill. This area has so much to offer and I believe it can only be achieved in a co-ordinated manner and a manner which works to reach conclusion and comes with well thought out development planning. I am clearly affected by the Recreation Road development area, and can say that despite a number of attempts to implement the Milan Place proposal, it | |

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| | | <p>has fallen by the wayside and resulted in these lots remaining under developed or not developed as it would lead to the wrong outcome to have implemented a plan earlier. These lots have been in my ownership for up to 25 years and this has been a patient wait. I look forward to this structured approach. I believe the land has high value if developed correctly and can be seen by the surrounding residents to be developed to a high standard, a responsibility which comes with the higher density.</p> <p>I am a resident of Cockburn and Hamilton Hill for now approximately 40years, my parents and my sister live in the recreation road development area and I look forward to this work leading to the right outcomes.</p> <p>I would be pleased to provide further input and respond to any questions on this submission as necessary.</p> <p>I can be contacted as indicated above and look forward to any feedback.</p> <p>I am overseas on business at the moment and have to make my submission by email and would appreciate your confirmation that this submission by email meets your minimum requirements in terms of format and reference.</p> | |
| 129 | <p>Tyson Burkett, Allering & Associates 125 Hamersley Road SUBIACO WA 6008</p> | <p>Support</p> <p>We support the City's preparation of both the Hamilton Hill Revitalisation Strategy and the Commercial and Activity Centres Strategy. However in undertaking a review of the draft documents, as well the current planning framework in the context of future aspirations of our client, there are some matters we wish to address regarding the subject lots and the immediate surrounds.</p> <p><u>Hamilton Hill Revitalization Strategy</u></p> <p>We seek that residential densities within commercial centres should be contemplated within the Strategy in providing guidance for further planning processes regarding the development of such centres, such as detail areas plans or master planning. As such we ask the City to contemplate those densities we have included in page 11, high density is a key to the future development of the centre. Thus it provides a basis for economic activation, the requirement for high quality public spaces and a variety in residential living as well as redevelopment of the site into a preferred urban form that moves away from a traditional box orientation surrounded by parking to one which encourages street activation with a mix of uses and public spaces.</p> <p>In addition the proposed zonings will facilitate the ability to achieve population targets within a more efficient manner and within a high quality development, rather than relying on incremental residential subdivisions within the surrounding land.</p> | <p>Supported</p> <p>The Strategy has been amended so as to include the Rockingham Road Centre in a Development Area. The Development Area's purpose is to allow for future redevelopment of the centre in a comprehensive manner which will meet Hamilton Hill community's aspirations and the objectives of Scarvaci Nominees Pty Ltd, the major landowner in the Centre.</p> <p>Development Areas under Town Planning Scheme No.3 ("TPS3") require a structure plan to be prepared prior to subdivision or development approval. Structure planning will designate land uses (generally residential), densities and POS (where appropriate/required).</p> <p>The structure plan process allows the City to consider the community's needs and aspirations for the Centre. The future structure plan should consider</p> |

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| | | <p>We act on behalf of Scarvaci Nominees Pty Ltd, owner of a number of properties within the Rockingham Road Commercial Centre and adjoining properties. A review has been undertaken of the proposed planning framework including the Hamilton Hill Revitalization Strategy and Commercial and Activity Centres Strategy currently being advertised by the City.</p> <p>We support the City's preparation of the documents, however in the context of future aspirations of our client over the subject land, there are some matters we wish to address within-the attached submission. We wish to work with the City in progressing planning for the centre and identifying a framework to facilitate its future redevelopment. We respectfully ask we be kept informed of the progression of the relevant documents.</p> | <p>the outcomes of community consultation undertaken in 2011 as part of preparing the Strategy.</p> <p>It is intended that this Development Area zoning will facilitate the development of the Centre as a mixed use development with a mix of medium to high densities. The Development Area provisions for the Centre (to be included in Schedule 11 of TPS3) should require;</p> <ul style="list-style-type: none"> • Retention of local shopping facilities; • Improved public realm; • Creation of new community gathering areas; and • Improve relationship of Centre to Rockingham Road and surrounding residential areas (north and south of Rockingham Road). <p>The Development Area provisions should also allow for minor modifications and expansions to the Centre prior to the preparation of a structure plan. This provides the Centre the ability to respond to centre user and tenants needs in the period between the implementation of the Development Area Zone and the point at which broad scale redevelopment of the Centre undertaken.</p> |
| 130 | Sabena Lund 281 Port Road Boat Harbour Beach TAS 7321 | <p>Support</p> <p>I support the proposed density changes, as they provide more housing closer to Fremantle, the Beach and local employment hubs.</p> <p>My parents live in Scarborough were we have seen similar density changes</p> | Noted |
| 131 | Jane Baijai 10 Ralston Street HAMILTON HILL WA 6163 | | <p>Not Supported</p> <p>Proposed turning restrictions at the</p> |

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| | | | <p>Stock Road / Ralston Street intersection are not supported because:</p> <ul style="list-style-type: none"> • It is the only direct road link to/from Hamilton Hill and Stock Road, between Winterfold Road and Forrest Road; and • It is important to maintain convenient/direct access to/from the Hamilton Hill Senior High School. <p>If the suggested turning restrictions were implemented, some of traffic generated by the High School would be transferred to other less desirable routes along other residential streets. This is not a desirable outcome, although observation of vehicles travelling along Ralston Street does suggest that there is a proportion of 'rat-run' traffic using that road as a connection between Stock Road and Forrest Road, probably to avoid being delayed at the Stock Road / Forrest Road signalised intersection.</p> <p>A 40km/h School Zone speed limit does apply to Ralston Street between 7.30-9.00am and 2.30-4.00pm, which helps improve road safety during those times. The need for traffic management in Ralston Street has been assessed using the City's policy SEW3 Local Area Traffic Management and that indicates that the need for traffic management is justified, albeit with a score that indicates it is a moderate traffic management issue.</p> <p>The streetscape on Ralston Street is generally open because there are no verge trees on the southern side of the</p> |

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| | | | <p>road due to the presence of power lines and the school buildings being set back 60-80 metres from the road. There is potential to improve the streetscape when the power lines are placed underground in the next few years. This could include an entry statement at Stock Road, planting of additional verge trees on both sides of the road to create a more confined avenue type effect and red asphalt on-street parking primarily for school related traffic, if the demand exists.</p> <p>At the same time, traffic calming such as speed cushions could be installed at a number of locations along the road to reduce vehicle speeds, which is the largest parameter contributing to the traffic management warrant system score for that road. However, the type of traffic treatment chosen would need to be agreed to with the Public Transport Authority because Ralston Street is a public bus route as well as being used by school buses servicing the High School.</p> |
| 132 | <p>Rebecca Lewis President Hamilton Hill Community Group.</p> | <p>No Objection</p> <p><u>Hamilton Hill Community Group</u> <i>Creating Beautiful Environments Promotes Pride in Communities</i></p> <p><u>Enright Reserve Proposal</u></p> <p><u>Background</u> Enright Reserve is a well utilised recreational facility, accessed by many parts of the community. Sporting clubs, dog walkers and children regularly use existing facilities. In 2009, Enright Reserve was featured in the Sunday Times as being one of the most unstimulating playgrounds for child development in the State. 2011 saw the old playground being replaced and subsequently a new wave of parents and children started to use the reserve.</p> <p>The community's favoured response to recent improvements further highlights the</p> | <p>Noted</p> <p>The draft Strategy proposes upgrades to Hamilton Hill's exiting POS through greater investment in park infrastructure and landscaping. The draft Strategy proposes that these improvements be funded by cash-in-lieu of POS payments for subdivision applications in the Hamilton Hill which propose more than two (2) lots. Appendix 2 of the draft Strategy contains the proposed upgrades to POS in Hamilton Hill which will be funded by the contributions. The proposed improvements for Enright Reserve include the following upgrades.</p> <ul style="list-style-type: none"> • Landscaping design & |

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| | | <p>need for a focal point within East Hamilton Hill. Following are some proposed improvements, as discussed at the Hamilton Hill Community Group meetings. Residents feel that whilst the new playground is appreciated, the user group extends further than just parents and young children, leaving a need for other focal areas within the reserve.</p> <p><u>Identified Issues within the Reserve</u></p> <ul style="list-style-type: none"> • No gathering area for community groups • Unchannelled energies of older children and teenagers resulting in destructive, anti-social behaviour e.g. destruction of vegetation and trees, graffiti on slides, swings etc. • People very rarely gather on the banks of the reserve to picnic, due to lack of facilities • No reason to visit the park – aesthetically barren • No focal point to ensure the community takes ownership of the area and cares for the local environment <p><u>Hamilton Hill Community Group Proposed Improvements</u></p> <p><u>No gathering area for community groups</u></p> <p>We propose that between the playground and the large ficus tree on Wilkes Street, that two covered seating areas with tables and free bbq facilities be installed. We feel it should be mid-way between the playground and the tree, as not all users wish to have the playground as their focal point. However, those wishing to use the playground have it within eye-sight for the supervision of younger children.</p> <p>Under the ficus tree we would like to see a circular seating area possibly mosaic with a sculptural focus, created with input from a local community group such as East Hamilton Hill Primary School. We believe many children at this park do not respect the local area and if they were to be involved in creating an aesthetically pleasing facility, they will respond with a greater sense of ownership and subsequent respect.</p> <p><u>Unchannelled energies of older children and teenagers resulting in destructive, anti-social behaviour e.g. destruction of vegetation and trees, graffiti on slides, swings etc.</u></p> <p>Many older children are accessing this park and often it appears that their energies are unchannelled due to lack of appropriate facilities. We suggest that the building of a basketball hoop be built outside of the pipe fencing, next to the cricket nets on Healy Road. We believe this will give the older children more of a focus and it is a positive activity promoting healthy activity and the opportunity to develop social skills. Existing sporting groups would not be impacted in any way by the installation within this area.</p> | <p>construction works;</p> <ul style="list-style-type: none"> • Bench, seat and shade structure; • BBQ; • Footpaths; • Fencing ; • Drinking Fountain; • Park signage; and • Lighting. <p>The recreation facilities and infrastructure proposed by the submission all appear to have merit. The submission will be forwarded on to Parks Service Unit for their consideration when implementing the proposed upgrades to the Reserve.</p> |

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| | | <p>We also feel that a water fountain would be of use within situation of the proposed basketball court. We would not call for toilets within any part of the reserve, as we believe this would be problematic.</p> <p>The behaviour of older children at Enright Reserve is a pressing issue for reserve users. Often children are found to be vandalising trees, playground equipment and existing infrastructure. A large majority of these children are unsupervised and as a result their behaviour is often reckless and disrespectful to other park users.</p> <p>We propose that on the corner of Ingram and Wilkes Street that a concreted 'handball' court with 4 squares painted on it, be installed. The proximity of this handball court is to be slightly away from the playground, to encourage use by older children. This is in the hope of giving them an alternative activity with more positive outcomes for all users of the reserve.</p> <p><u>People very rarely gather on the banks of the reserve to picnic, due to lack of facilities</u></p> <p>Residents acknowledge the potential of Enright Reserve, however it is currently underutilised due to lack of facilities. We propose the installation of picnic facilities i.e. covered seating areas with bbq and deciduous fruiting trees around the playground and future bbq area. This would provide people with a desire to be in the area, regardless of whether they are involved in sporting groups or have children.</p> <p>It is well documented via the Hamilton Hill Revitalisation Strategy that residents are searching for a community hub. We believe this does not need to be solely in the format of coffee shops and that by providing quality infrastructure; we would be one step closer toward achieving that goal. The lack of a focal point for the East Hamilton Hill community needs to be addressed. By improving access and making Enright Reserve more appealing to a greater demographic, safety issues and sense of community will be improved. Greater usage of these facilities will improve community relations and give greater focus, developing positive energy within the area.</p> <p><u>No reason to visit the park – aesthetically barren</u></p> <p>Surveying community members, Hamilton Hill Community Group has established that the general perception of the East Hamilton Hill ward is that it is totally devoid of ANY installations or sculpture of note. We believe that Enright Reserve shows great potential to act as a drawcard, via such installations to a broader range of users. Many residents appreciate beautiful things and wish to promote greater pride within the local community and feel we deserve aesthetically pleasing recreational local areas. Residents want to be able to walk and not have to drive to interesting facilities. We would like to see a sculpture established within the reserve, as a focal point. This could be situated near the proposed bbq seating area or at the community project by the</p> | |

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| | | <p>figus tree.</p> <p><u>No focal point to ensure the community takes ownership of the area and cares for the local environment</u></p> <p>We propose that local people be involved in creating a seating area under the ficus, in order to promote community awareness and ownership of this reserve. We believe that existing anti social behaviours would be reduced, due to the increase of users if our proposals were taken onboard and installed. The community does not have a sense of ownership of this area at present and we want to encourage greater usage and subsequent ownership.</p> <p>In the construction of this seating area, we propose that local children and groups be encouraged to participate in a community minded seating project. This inspires the notion of ownership, pride and personal creativity.</p> <p><u>Summary</u></p> <p>Residents have a desire and a need for greater infrastructure at Enright Reserve. We want facilities that draw the community together and are aesthetically pleasing. We wish to involve younger generations in the creation of certain areas to promote ownership and pride. We also want facilities installed to try and counter existing anti social behaviour. We believe the Cockburn Council has many existing examples of parks and community hubs within in its jurisdiction. As rate payers from an area that has been ignored for a prolonged period of time, we feel that we deserve to have our suggestions seriously considered. Hamilton Hill Community Group offers itself as a focus group and would welcome greater consultation from Council.</p> | |

APPENDICIES

